

SHEET LIST	
001	COVER SHEET
002	BASIX
003	NATHERS
004	SITE PLAN
005	DRIVEWAY GRADIENT
006	SITE MANAGEMENT PLAN
007	GROUND FLOOR PLAN
008	FIRST FLOOR PLAN
009	ELEVATIONS
010	ELEVATIONS
011	GRANNY FLAT PLAN
012	SECTION
013	DETAILS
014	ROOF PLAN
015	WINDOWS & DOORS SCHEDULES
016	CONCRETE SLAB PLAN
017	FLOOR SPACE RATIO PLAN
018	FLOOR COVERING PLAN
019	SHADOW DIAGRAMS, 21st JUNE
020	SITE ANALYSIS
021	NOTIFICATION PLAN



03.07.26	B-2	AHP	OUTDOOR RETREAT WINDOW LOWERED AS PER CLIENT'S REQUEST
29.06.26	B-1	DOMENIC	LODGEMENT PLANS
DATE	REV	DRAWN BY	DESCRIPTION

**Certificate No. 0012700140**

Scan QR code or follow website link for rating details.

Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 91 Windsor Road,PADSTOW NSW,2211

hstar.com.au/QR/Generate?p=huStkydyg



Version 2025.0



FOWLER

YOUR HOME.
OUR PASSION.

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

JOB NO:

25-1048

SITE ADDRESS:

LOT: 18

DP: 19247

91 WINDSOR ROAD

PADSTOW

NSW 2211

PROPOSED:

NEW TWO STOREY DWELLING

DESIGN NAME:

BROOKLY 37 - DISPLAY

FACADE NAME:

ESPLANADE (NO BALCONY)

PACKAGE:

PRESTIGE

REVISION:

B-2

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BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Multi Dwelling

Certificate number: 162647M_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. If it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/developments

Secretary
Date of issue: Wednesday, 20 May 2026

To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



When submitting this BASIX certificate with a development application or complying development certificate application, it must be accompanied by NalHERS certificate 0012730140.

Project summary			
Project name	Hoang 25-1048_04		
Street address	91 WINDSOR ROAD PADSTOW 2211		
Local Government Area	CANTERBURY-BANKSTOWN		
Plan type and plan number	Deposited Plan 19247		
Lot No.	16		
Section no.	-		
No. of residential flat buildings	0		
Residential flat buildings no. of dwellings	0		
Multi-dwelling housing no. of dwellings	2		
No. of single dwelling houses	0		
Project score			
Water	✓ 42	Target 40	
Thermal Performance (Simulation method)	✓ Pass	Target Pass	
Energy	✓ 90	Target 72	
Materials	✓ -71	Target n/a	

Certificate Prepared by

Name / Company Name: FRYS BUILDINGS CONSULTANCY PTY LTD

ABN (if applicable): 64631418543

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carriedout. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling housing

(a) Dwellings

	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(i) Water			
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below:			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table.	✓	✓	✓
(c) If a rating is specified in the table below for a feature or appliance to be installed in the dwelling, the applicant must ensure that each such feature and appliance meets the rating specified for it.	✓	✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.	✓	✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.	✓	✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	✓
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).	✓	✓	✓
(h) The pool or spa must be located as specified in the table.	✓	✓	✓
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

(ii) Thermal Performance and Materials

	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓		
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.	✓	✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (ab) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓
(i) The applicant must show on The plans accompanying The development application for The proposed development, The locations of ceiling fans set out in The Assessor Certificate.	✓		
(j) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the location of ceiling fans set out in the Assessor Certificate.	✓		

Thermal loads			
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)	Area adjusted total load (in MJ/m ² /yr)
GF	4.7	14.1	20,800
All other dwellings	19.5	9.3	28,800

Construction of floors and walls				
Dwelling no.	Concrete slab on ground (m ²)	Suspended floor with open subfloor (m ²)	Suspended floor above enclosed subfloor (m ²)	Suspended floor above open garage (m ²)
GF	55.5	-	-	-
All other dwellings	53	103.9	-	19.3

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.04 / EUCAL YPTTUS_23_21_0 Certificate No: 162647M_04 Wednesday, 20 May 2026 page 1/10

Description of project			
Project address			
Project name	Hoang 25-1048_04		
Street address	91 WINDSOR ROAD PADSTOW 2211		
Local Government Area	CANTERBURY-BANKSTOWN		
Plan type and plan number	Deposited Plan 19247		
Lot No.	16		
Section no.	-		
Project type			
No. of residential flat buildings	0		
Residential flat buildings no. of dwellings	0		
Multi-dwelling housing no. of dwellings	2		
No. of single dwelling houses	0		
Site details			
Site area (m ²)	817.5		
Roof area (m ²)	530.64		
Non-residential floor area (m ²)	0		
Residential car spaces	2		
Non-residential car spaces	-		
Common area landscape			
Common area lawn (m ²)	0		
Common area garden (m ²)	0		
Area of indigenous or low water use species (m ²)	0		
Assessor details and thermal loads			
Assessor name	DMN/121441		
Certificate number	0012730140		
Climate zone	5b		
Project score			
Water	✓ 42	Target 40	
Thermal Performance (Simulation method)	✓ Pass	Target Pass	
Energy	✓ 90	Target 72	
Materials	✓ -71	Target n/a	

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.04 / EUCAL YPTTUS_23_21_0 Certificate No: 162647M_04 Wednesday, 20 May 2026 page 2/10

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of floor spaces	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Independent Apartments (no. of units)
GF	2	50.2	4.3	0	0

Dwelling no.	No. of floor spaces	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Independent Apartments (no. of units)
1M	4	258.1	28.2	213.75	0



Nationwide House Energy Rating Scheme®
NatHERS® Certificate No. 0012700126-05

Generated on 20 May 2022 using BERS Pro v5.2.6 (J23)

Property

Address

Lot/CP

NCC class*

Floor/flat Floors

Type

Plans

Main plan

Prepared by

Unit M1, 31 Windsor Road,
PADSTOWN, NSW, 2211

Lot 8 CP 19427

NCC class*

G of 2 floors

None Home

25-1048

S.M.L.

Construction and environment

Assessed floor area (m²)

Conditioned** 256.1

Unconditioned** 29.2

Total 318.2

Garage 31.8

Exposure type

Suburban

NatHERS climate zone

56 Mascot (Sydney Airport)

7.1

The more stars the more energy efficient

NATIONWIDE HOUSE

ENERGY RATING SCHEME®

28.9 MJ/m²

Practical and conservative
based on standard assumptions, assumptions and
wall E-values are adjusted

For more information on
your energy rating, visit
www.natHERS.gov.au

Thermal performance (MJ/m²)

Limits taken from ASCE Standard 2022

Area equivalent included

	Heating	Cooling
Modelled	19.5	9.3
Load limits	NA	NA

Features determining load limits

Floor Type	Thermal performance (MJ/m ²)	Pass
(lowest conditioned area)	NCC-climate zone 1 or 2	No
Outdoor living area		No
Outdoor living area ceiling tan		No

Whole of Home thermal performance rating

No Whole of Home thermal performance rating generated for this certificate.

Verification

This is verified by NatHERS
with the QR code at visit
www.natHERS.gov.au
to verify this certificate
When using QR code,
connect your own testing



National Accredited assessor

 **Star Energy**

Name Ian Fry

Business name compmly@sydneywise.com.au

Email address compmly@sydneywise.com.au

Phone number 02 9869 2265

Accreditation No. DML127441

Assessor Accrediting Organisation Design Matters National

Declaration of interest Declaration completed: no conflicts

NCC Requirements

NCC provisions

State/Territory variation

Year Two

Version

National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 and 3) including hotels and Class 4 parts. (Excludes the applicable requirements for houses under designated Specification 42 of the NCC, which may be applicable. The requirements are detailed in Clause 10.10.1 of the NCC.)

The NCC is based on AS/NZS Standards and support information, can be accessed at www.acbs.gov.au

Note: Variations and updates to the NCC energy efficiency requirements may apply in some states and territories.

Version 2025.0
* Refer to glossary
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH, 91 Windsor Road, PADSTOW, NSW, 2211

1017290126-05 MATHERS Certificate		7.1 Star Rating as of 20 May 2026								
Room schedule										
Room	Zone Type	Area (m²)								
Garage	Garage	31.62								
H.OFFICE/ENTRY	Daytime	25.51								
HOME CINEMA	Daytime	13.01								
STAIRWELL	Daytime	6.55								
POR	Unconditioned	6.18								
LDRY	Unconditioned	5.86								
BUTLER	Daytime	4.92								
WIP	Daytime	2.99								
Kitchen/Living	Kitchen/Living	45.38								
BATH	Unconditioned	6.38								
ENT. WING	Living	30.06								
LEISURE	Living	35.02								
MASTER SUITE	Bedroom	20.94								
ENS	Nighttime	7.1								
HISHER	Nighttime	7.19								
IT NOOK	Daytime	5.58								
WL	Daytime	2.28								
BATHROOM	Unconditioned	9.82								
BED 2	Bedroom	12.69								
WR BED 2	Nighttime	3.31								
BED 3	Bedroom	12.82								
WR BED 3	Nighttime	2.82								
BED 4	Bedroom	11.84								
BED 5	Bedroom	15.27								
Window and glazed door type and performance										
Default windows*										
Window ID	Window Description	Maximum U-value*	BHGCH*	Substitution tolerance ranges						
				BHSC lower limit	BHSC upper limit					
No Data Available										

Version 2025.0
* Refer to glossary.
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0017290126-05 RALTEIS Certificate 7.1.18 Rating as of 20 May 2026

Custom windows*

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
TND-002-300	Aluminium Awaiting Window DG 4PaSA2/12A/4PaSG	3.0	0.41	0.39	0.43
TND-001-300	Aluminium Sliding Window DG 4PaSA2/12A/4PaSG	3.0	0.42	0.40	0.45
TND-001-001	Aluminium Sliding Window SG 3Ci	6.5	0.73	0.70	0.77
TND-003-001	Aluminium Fixed Window DG 5dr/10ar5PaSA2	2.2	0.52	0.49	0.54
TND-017-300	Aluminium Sliding Door DG 4PaSA2/10A/4PaSG	2.6	0.45	0.42	0.47
TND-002-003	Aluminium Awaiting Window SG 4EA	5.3	0.48	0.46	0.50
TND-024-013	Aluminium Fixed Window SG 6ET	4.4	0.63	0.59	0.66

Window and glazed door schedule

Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*
OFFICE/REENTRY	TND-002-300-002	W01	2000	1800	Awaiting	90	N	No
HOME CINEMA	TND-001-300-002	W02	600	3000	Sliding	45	W	No
PDR	TND-001-001-001	W03	600	800	Sliding	45	W	No
BUTLER	TND-003-001-001	W04	700	1600	Fixed	00	E	No
Kitchen/Living	TND-003-001-001	W08	700	2700	Fixed	00	E	No
Kitchen/Living	TND-001-300-002	W04	1800	800	Sliding	45	W	No
Kitchen/Living	TND-001-300-002	W05	1800	800	Sliding	45	W	No
BATH	TND-001-001-001	W06	600	800	Sliding	45	W	No
ENT. WING	TND-001-300-002	W07	2000	2200	Sliding	45	S	No
ENT. WING	TND-017-300-004	D1-ENT. WING	2400	2700	Sliding	60	S	No
LEISURE	TND-003-001-001	W19	1200	1200	Fixed	00	E	No
LEISURE	TND-003-001-002	W20	600	2700	Sliding	45	E	No
MASTER SUITE	TND-002-003-001	W12	2000	1800	Awaiting	10	N	No
MASTER SUITE	TND-024-013-001	W11	2000	1200	Fixed	00	N	No
ENS	TND-001-001-001	W13	2000	700	Sliding	45	W	No
BATROOM	TND-001-001-002	W14	1200	800	Sliding	45	W	No
IT/NOOK	TND-001-001-001	W15	1200	1600	Sliding	45	W	No

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Page 6 of 16

9112700126-65 NETHERS Certificate									
7.15 Star Rating as of 20 May 2018									
Location	Window ID	Window no.	Height [mm]	Width [mm]	Window type	Opening %	Orientation	Window shading device*	
BED 2	TND-002-003-001	W16	800	2400	Awning	10	S	No	
BED 3	TND-002-003-001	W17	800	2400	Awning	10	S	No	
BED 4	TND-002-003-001	W18	600	2400	Awning	10	E	No	
BED 5	TND-002-003-001	W21	2000	3000	Awning	10	N	No	

Roof window* type and performance value									
Default roof windows*									
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges					
				SHGC lower limit			SHGC upper limit		
No Data Available									

Custom roof windows*									
Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges					
				SHGC lower limit			SHGC upper limit		
No Data Available									

Roof window* schedule									
Location	Window ID	Window no.	Opening %	Height [mm]	Width [mm]	Orientation	Outdoor shade	Indoor shade	
No Data Available									

Skylight* type and performance									
Skylight ID	Skylight description					Skylight shaft reflectance			
No Data Available									

Skylight* schedule									
Location	Skylight ID	Skylight No.	Skylight shaft length [mm]	Area [m ²]	Orientation	Outdoor shade	Diffuser		
No Data Available									

External door schedule									
Location	Height [mm]		Width [mm]		Opening %	Orientation			
Garage	2400		4810		90	N			

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* Refer to glossary.
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B17 7/19/2016 05:00 NAEIERS Certificate							
F14 8/18/ Rating as of 20 May 2016							
Location	Height [mm]	Width [mm]	Orientation	Opening %	Orientation		
LDRY	2340	920		90	W		
BATH	2340	920		90	S		
External wall type							
Wall ID	Wall type	Solar absorbance	Wall shade [colour]	Bulk insulation [R-value]	Reflective wall wrap*		
EW-1	Timber Stud Frame Brick Veneer	0.50		No insulation			
EW-2	Single Skin Brick	0.50		No insulation			
EW-3	Timber Stud Frame Brick Veneer	0.50		Bulk Insulation, Air Gap R2.5	No		
EW-4	Fibre Timber Stud Frame Panel Direct Fix	0.50		Bulk Insulation R2.5	No		
External wall schedule							
Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection [mm]	Vertical shading feature [yes/no]	
GARAGE	EW-1	2912	1000	S	600	No	
GARAGE	EW-2	2912	5695	N	100	No	
GARAGE	EW-1	2912	5700	E	600	No	
H.OFFICE/ENTRY	EW-3	2740	3195	W	100	No	
H.OFFICE/ENTRY	EW-3	2740	2600	N	100	Yes	
H.OFFICE/ENTRY	EW-3	2740	900	E	2200	No	
H.OFFICE/ENTRY	EW-3	2740	2100	N	1600	No	
H.OFFICE/ENTRY	EW-3	2740	600	E	100	No	
HOME CINEMA	EW-3	2740	4190	W	100	No	
STARWELL	EW-3	2740	2295	E	100	No	
POR	EW-3	2740	2090	W	100	No	
LDRY	EW-3	2740	1990	W	100	No	
BUTLER	EW-3	2740	1990	E	100	No	
Kitchen/Living	EW-3	2740	4390	E	100	No	
Kitchen/Living	EW-3	2740	4390	W	100	No	
BATH	EW-3	2740	3195	S	5800	No	
BATH	EW-3	2740	2095	W	700	No	
ENT. WING	EW-3	3505	4895	E	600	No	

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01/27/2019-05 NatHERS Certificate		5.18 Star Rating as of 20 May 2019				
Location	Wall ID	Height [mm]	Width [mm]	Orientation	Horizontal shading feature* maximum projection (mm)	Vertical shading feature [yes/no]
ENT. WING	EW-3	3172	2500	S	600	No
ENT. WING	EW-3	3173	3700	S	3000	Yes
ENT. WING	EW-3	3505	2800	W	3000	No
LEISURE	EW-3	2600	5500	E	600	No
MASTER SUITE	EW-3	2600	4700	N	100	Yes
MASTER SUITE	EW-3	2601	600	E	5300	No
MASTER SUITE	EW-3	2600	3785	W	600	No
ENS	EW-3	2600	2290	W	600	No
HISHER	EW-3	2600	1590	W	600	No
IT NOOK	EW-3	2600	1790	W	600	No
BATHROOM	EW-3	2600	3190	W	600	No
BED 2	EW-4	2600	3395	S	600	No
BED 2	EW-3	2600	3695	W	600	No
WR BED 2	EW-4	2600	1390	S	600	No
BED 3	EW-4	2600	3395	S	600	No
BED 3	EW-3	2600	3695	E	600	No
WR BED 3	EW-4	2600	1190	S	600	No
BED 4	EW-3	2600	3190	E	600	No
BED 5	EW-4	2600	4695	N	700	No
BED 5	EW-4	2601	900	E	600	No
BED 5	EW-3	2600	2395	E	600	No

Internal wall type

Wall ID	Wall type	Area (m²)	Bulk insulation [R-value]
IW-001	Timber Stud Frame, Direct Fix Plasterboard	102.02	Bulk Insulation, No Air Gap R2.5
IW-002	Timber Stud Frame, Direct Fix Plasterboard	225.15	No Insulation

Floor type

Location	Construction	Area [m²]	Sub-floor ventilation	Insulation [R-value]	Slab edge insulation [R-value]	Covering
Garage	Concrete Slab on Ground 150mm	31.76	None	No Insulation		Bare

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012701926-05 NalTies Certificate		7.1 Star Rating as of 20 May 2026				
Location	Construction	Area [m²]	Sub-floor ventilation	Insulation [R-value]	Slab edge insulation [R-value]	Covering
H.OFFICE/ENTRANCE	Concrete Slab on Ground 100mm	25.51	None	No Insulation		Ceramic Tiles 8mm
HOME CINEMA	Concrete Slab on Ground 100mm	13.01	None	No Insulation		Carpet+Rubber Underlay 18mm
STARWELL	Suspended Concrete Slab 150mm	6.55	Very Open	Bulk Insulation in Contact with Floor R2.5		Carp. Tiles or Parquet 8mm
PDR	Suspended Concrete Slab 150mm	6.18	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
LDRY	Suspended Concrete Slab 150mm	5.86	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
BUTLER	Suspended Concrete Slab 150mm	4.02	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
WIP	Suspended Concrete Slab 150mm	2.99	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
Kitchen/Living	Suspended Concrete Slab 150mm	45.38	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
BATH	Suspended Concrete Slab 150mm	6.38	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
ENT. WING	Suspended Concrete Slab 150mm	30.06	Very Open	Bulk Insulation in Contact with Floor R2.5		Ceramic Tiles 8mm
LEISURE / Garage	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	8.41		Bulk Insulation R2.5		Cork Tiles or Parquet 8mm
LEISURE / H.OFFICE/ENTRANCE	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.00		No Insulation		Cork Tiles or Parquet 8mm
LEISURE / STARWELL	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.00		No Insulation		Cork Tiles or Parquet 8mm
LEISURE / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.82		No Insulation		Cork Tiles or Parquet 8mm
MASTER SUITE / H.OFFICE/ENTRANCE	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 42mm	17.12		No Insulation		Cork Tiles or Parquet 8mm
MASTER SUITE / HOME CINEMA	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 42mm	1.55		No Insulation		Cork Tiles or Parquet 8mm

Version: 2025.0
 * Refer to glossary.
 Generated on 20 May 2026 using EPRS Pro v5.2.6 (3.23) for Unit MFI, 91 Windsor Road, PADSTOW, NSW, 2211

01/27/2019 05:00 NATHANS Certificate		7.1 Star Rating as of 20 May 2026				
Location	Construction	Area [m²]	Sub-floor ventilation	Insulation (R-value)	Slab edge insulation [R-value]	Covering
MASTER SUITE	Suspended 35mm Fibre-Reinforced Concrete Floor Timber Frame 42mm	1.52	Totally Open	Bulk Insulation is Contacted with Floor R2.5		Cork Tiles or Parquety Elm
ENS / HOME CINEMA	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	7.10		No Insulation		Ceramic Tiles 8mm
HISHER / H.OFFICE/ENTRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	2.07		No Insulation		Cork Tiles or Parquety Elm
HISHER / HOME CINEMA	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	3.83		No Insulation		Cork Tiles or Parquety Elm
HISHER / POR	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.63		No Insulation		Cork Tiles or Parquety Elm
IT NOOK / H.OFFICE/ENTRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.36		No Insulation		Cork Tiles or Parquety Elm
IT NOOK / POR	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	4.86		No Insulation		Cork Tiles or Parquety Elm
WIL / POR	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.26		No Insulation		Cork Tiles or Parquety Elm
WIL / LDRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.72		No Insulation		Cork Tiles or Parquety Elm
WIL / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.39		No Insulation		Cork Tiles or Parquety Elm
BATHROOM / LDRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	4.72		No Insulation		Ceramic Tiles 8mm
BATHROOM / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	4.41		No Insulation		Ceramic Tiles 8mm
BED 2 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	10.99		No Insulation		Cork Tiles or Parquety Elm
BED 2 / BATH	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	1.23		No Insulation		Cork Tiles or Parquety Elm
WR BED 2 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	2.61		No Insulation		Cork Tiles or Parquety Elm
WR BED 2 / ENT WING	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.51		No Insulation		Cork Tiles or Parquety Elm

Version 2025.0
 * Refer to glossary.
 Generated on 20 May 2026 using EERS Pro v5.2.6 (3.23) for Unit M1, 91 Windsor Road, PADSTOW, NSW 2211

Page 11 of 16

Location	Construction	Area [m ²]	Sub-floor ventilation	Insulation [R-value]	Slab edge insulation [R-value]	Covering
BED 3 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	11.12		No Insulation		Cork Tiles or Parquetry Brmn
BED 3 / ENT. WING	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	1.46		No Insulation		Cork Tiles or Parquetry Brmn
WR BED 3 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	2.22		No Insulation		Cork Tiles or Parquetry Brmn
WR BED 3 / ENT. WING	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	0.41		No Insulation		Cork Tiles or Parquetry Brmn
BED 4 / BUTLER	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	3.88		No Insulation		Cork Tiles or Parquetry Brmn
BED 4 / WIP	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	2.88		No Insulation		Cork Tiles or Parquetry Brmn
BED 4 / Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 100mm	4.44		No Insulation		Cork Tiles or Parquetry Brmn
BED 5 / Garage	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard 42mm	11.04		Bulk Insulation R2.5		Cork Tiles or Parquetry Brmn
BED 5	Suspended 35mm Fibre-Reinforced Concrete Floor Timber Frame 42mm	3.99	Totally Open	Bulk Insulation in Contact with Floor R2.5		Cork Tiles or Parquetry Brmn

Ceiling type		
Location	Construction material/type	Bulk Insulation [R-value] (may include edge joint values)
Garage	Plasterboard on Timber	No Insulation
Garage	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	Bulk Insulation R2.5
H.OFFICE/ENTRY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
HOMIE CINEMA	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
STAIRWELL	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
LDY	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
POR	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
PDR	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
BUTLER	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
WIP	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
Kitchen/Living	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation

Version 2025.0
 * Refer to glossary.
 Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unix MH, 91 Windsor Road, PADSTOW, NSW, 2211

Page 12 of 16

Location	Construction material/type	Bulk Insulation [R-value] (may include edge batt values)
BATH	Plasterboard on Timber	Bulk Insulation R6
BATH	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
ENT WING	Plasterboard on Timber	Bulk Insulation R6
ENT WING	Plasterboard on Timber	Bulk Insulation R2.5
ENT WING	35mm Fibre-Reinforced Concrete Timber Frame Above Plasterboard	No Insulation
LEISURE	Plasterboard on Timber	Bulk Insulation R6
LEISURE	Plasterboard on Timber	Bulk Insulation R2.5
MASTER SUITE	Plasterboard on Timber	Bulk Insulation R6
MASTER SUITE	Plasterboard on Timber	Bulk Insulation R2.5
MASTER SUITE	Plasterboard on Timber	Bulk Insulation R2.5
ENS	Plasterboard on Timber	Bulk Insulation R6
ENS	Plasterboard on Timber	Bulk Insulation R2.5
HISHER	Plasterboard on Timber	Bulk Insulation R6
HISHER	Plasterboard on Timber	Bulk Insulation R2.5
IT NOOK	Plasterboard on Timber	Bulk Insulation R6
IT NOOK	Plasterboard on Timber	Bulk Insulation R2.5
WL	Plasterboard on Timber	Bulk Insulation R6
BATHROOM	Plasterboard on Timber	Bulk Insulation R6
BATHROOM	Plasterboard on Timber	Bulk Insulation R2.5
BED 2	Plasterboard on Timber	Bulk Insulation R6
BED 2	Plasterboard on Timber	Bulk Insulation R2.5
WR BED 2	Plasterboard on Timber	Bulk Insulation R6
WR BED 2	Plasterboard on Timber	Bulk Insulation R2.5
BED 3	Plasterboard on Timber	Bulk Insulation R6
BED 3	Plasterboard on Timber	Bulk Insulation R2.5
WR BED 3	Plasterboard on Timber	Bulk Insulation R6
WR BED 3	Plasterboard on Timber	Bulk Insulation R2.5
BED 4	Plasterboard on Timber	Bulk Insulation R6
BED 4	Plasterboard on Timber	Bulk Insulation R2.5
BED 5	Plasterboard on Timber	Bulk Insulation R6
BED 5	Plasterboard on Timber	Bulk Insulation R2.5

Version 2025.0
* Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unix MH, 91 Windsor Road , PADSTOW NSW 2211

01/27/20125-05 NABERS Certificate

7.1 Star Rating as of 20 May 2016

Ceiling penetrations*

Location	Quantity	Type	Diameter [mm]	Sealed/unsealed
PDR	1	Exhaust Fans	300	Sealed
LDRY	1	Exhaust Fans	300	Sealed
Kitchen/Living	1	Exhaust Fans	300	Sealed
BATH	1	Exhaust Fans	300	Sealed
ENS	1	Exhaust Fans	300	Sealed
BATHROOM	1	Exhaust Fans	300	Sealed

Ceiling fans

Location	Quantity	Diameter [mm]
No Data Available		

Roof type

Construction	Insulation [R-value]	Reflective wrap? [yes/no]	Solar absorbance[colour]	Roof shade [R-value]
Corrugated Iron Timber Frame Bulk, Reflective Side Down, No Air Gap Above R1.3			0.50	Medium

Thermal bridging schedule for steel frame elements

Building element	Steel section dimensions [height x width, mm]	Frame spacing [mm]	Steel thickness [MM/mm]	Thermal break [R-value]
No Data Available				

Appliance schedule

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

Cooling system

Appliance/system type	Location	Fuel type	Performance	Recommended capacity
No Data Available				

Heating system

Appliance/system type	Location	Fuel type	Performance	Recommended capacity
No Data Available				

Version 2025.0
* Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH, 91 Windsor Road, PADSTOW, NSW, 2211

Appliance/ system type	Fuel type	Performance	Hot water CER ¹ zone
No Data Available			
Lighting			
Appliance/ system type	Volume [Litres]	Star rating	Recommended pump capacity [W]
No Data Available			
Cooking			
Appliance/ system type	Volume [Litres]	Star rating	Recommended pump capacity [W]
No Data Available			
Pool/spa equipment			
Appliance/ system type	Volume [Litres]	Star rating	Recommended pump capacity [W]
No Data Available			

Version: 2025.0
*Refer to glossary.
Generated on 20 May 2026 using BERS Pro v5.2.6 (3.23) for Unit MH, 91 Windsor Road, PADSTOW, NSW, 2211

DESIGN NAME:	FACADE NAME:
BROOKLY 37 -	ESPLANADE (NO
DISPLAY	BALCONY)
PACKAGE:	JOB NO:
PRESTIGE	25-1048

NATHERS

SCALE: @ A3

DATE:	SHEET NO:
03.07.26	003

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

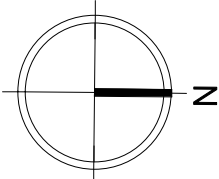
SIGNATURE: _____ DATE: _____

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:
LOT: 18 DP: 19247
91 WINDSOR ROAD
PADSTOW NSW 2211

REVISION

B-2



(X) EASEMENT FOR DRAINAGE 1.83 WIDE (C961358)
W - DENOTES GROUND FLOOR WINDOW
W1 - DENOTES UPPER FLOOR WINDOW

**Certificate No. 0012700140**

Scan QR code or follow website link for rating details.

Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 91 Windsor Road, PADSTOW NSW, 2211

hstar.com.au/QR/Generate?p=huStkydyg

Version 2025.0



ALL OFF-STREET CAR PARKING SPACES AND VEHICLE ACCESS MUST COMPLY WITH AS/NZS 2890.1:2004, PARKING FACILITIES, PART 1: OFF-STREET CAR PARKING

FRONT YARD LANDSCAPING:

THE AREA FORWARD OF THE BUILDING LINE= 102.00m²
45% OF AREA= 45.90m²

PROPOSED= 54.10m² (53%)

COUNCIL:
CANTERBURY BANKSTOWN

DEVELOPER:
N/A

GROWTH CENTRE:
N/A

DA COUNCIL APPROVAL
COUNCIL APPROVAL
REFER TO COUNCIL REGULATIONS
FOR FURTHER DETAILS.

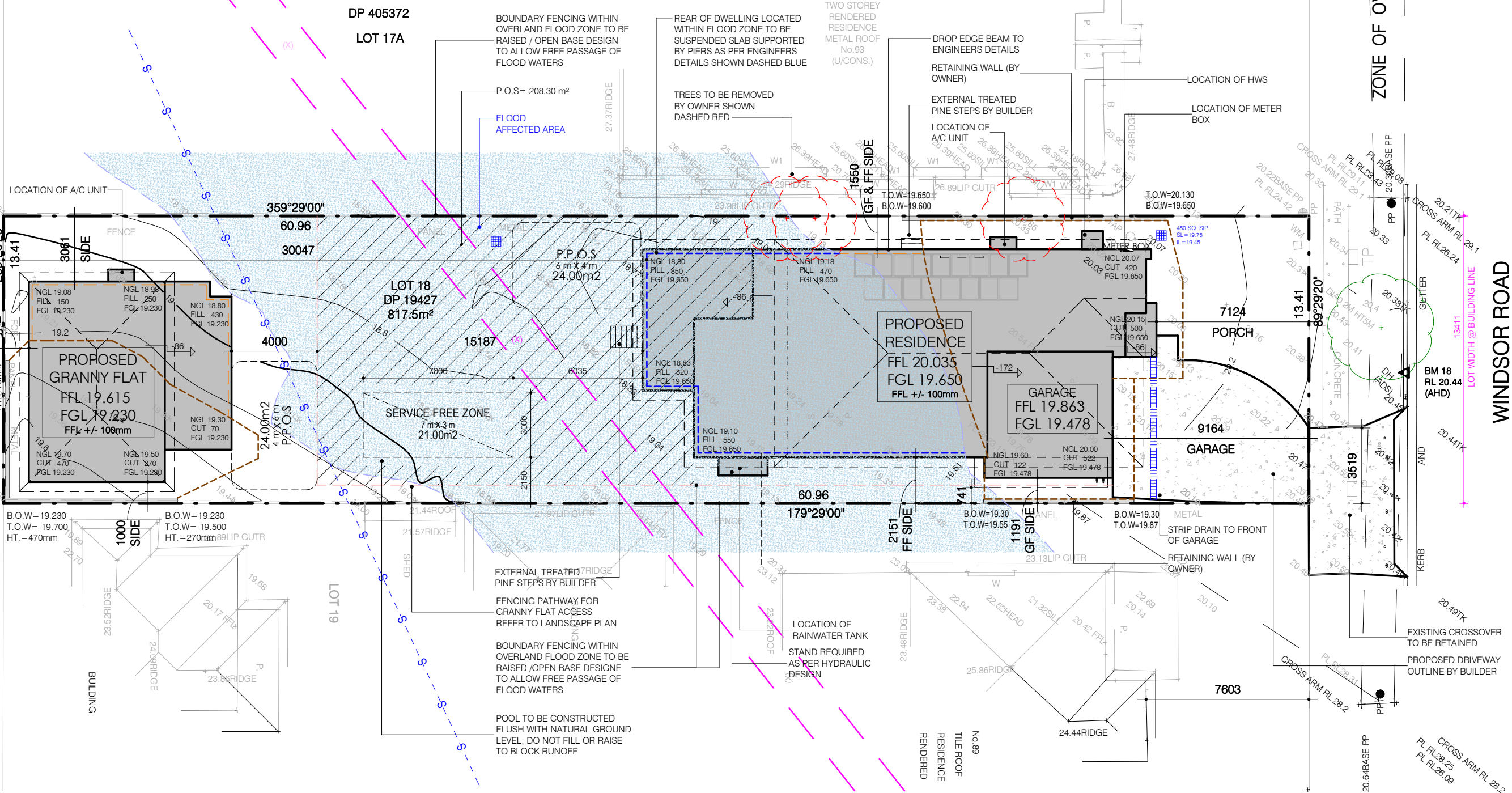
SITE AREA:	817.50 m²
SITE COVERAGE	
EXCLUDING FIRST FLOOR, BALCONY	
GROUND FLOOR AREA:	158.05 m²
GARAGE AREA:	34.59 m²
PATIO AREA:	3.16 m²
OUTDOOR RETREAT AREA:	24.78 m²
DRIVEWAY AREA:	56.47 m²
G/FLAT & OUTDOOR RETREAT	83.09 m²
MAX. SITE COVERAGE:	GROUND:75.00% FIRST:0.00%
PROPOSED:	TOTAL GF:40.40% TOTAL FF:00.00%

FLOOR SPACE RATIO	
AREAS ARE MEASURED FROM INTERNAL FACE OF EXTERNAL WALLS. EXCLUDING VOIDS	
GROUND FLOOR FSR:	140.31 m²
FIRST FLOOR FSR:	142.40 m²
GARAGE FSR:	30.64 m²
EXISTING STRUCTURE FSR:	0.00 m²
GRANNY FLAT FSR:	52.07 m²
TOTAL GROSS FLOOR AREA:	365.42 m²
ALLOWED FSR:	50.00%
PROPOSED FSR:	44.70%

LANDSCAPE AREA	
SITE AREA:	817.50 m²
TOTAL HARDSTAND AREA:	279.95 m²
APPROX DRIVEWAY AREA:	56.47 m²
LESS THAN 1.5m:	25.94 m²
G/FLAT & OUTDOOR RETREAT	83.09 m²
LANDSCAPED AREA:	372.05 m²
MINIMUM LANDSCAPE:	45%
PROPOSED LANDSCAPE:	45.51%

PRIVATE OPEN SPACE	
PRINCIPAL PRIVATE OPEN SPACE:	48.00 m²
PRIVATE OPEN SPACE:	208.30 m²

LEGEND	
CUT/FILL	----
DROP EDGE BEAM	----
NATURAL GROUND LEVEL	NGL
FINISH GROUND LEVEL	FGL
FINISH FLOOR LEVEL	FFL
PRIVATE OPEN SPACE	////



SALINE AFFECTED SOILS
REFER TO ENGINEER'S DETAIL

**FOWLER**
YOUR HOME. OUR PASSION.

DESIGN NAME: BROOKLY 37 - DISPLAY PACKAGE: PRESTIGE

FACADE NAME: ESPLANADE (NO BALCONY) JOB NO: 25-1048

SITE PLAN

SCALE: 1 : 200 @ A3

DATE: 03.07.26 SHEET NO: 004

CLIENT'S NAME: MR. SON LE HOANG

MRS. YOUNG SOOK MOON

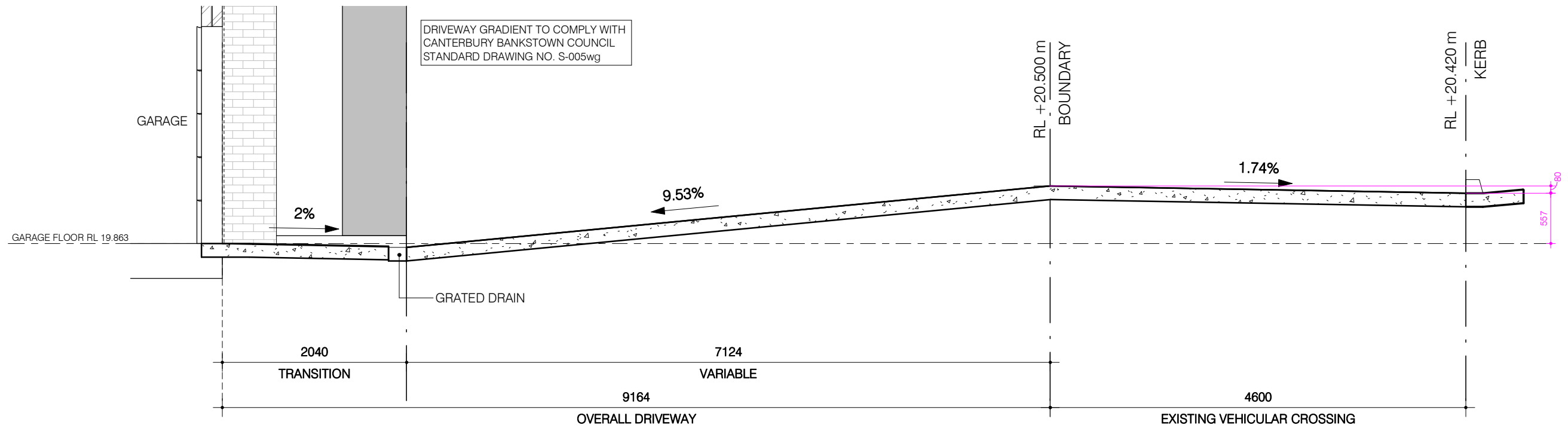
SIGNATURE: _____ DATE: _____

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS: LOT: 18 91 WINDSOR ROAD PADSTOW

DP: 19247 NSW 2211

REVISION: B-2



**Certificate No. 0012700140**
Scan QR code or follow website link for rating details.

Assessor name Ian Fry
Accreditation No. DMN/12/1441
Property Address 91 Windsor Road, PADSTOW NSW, 2211



hstar.com.au/QR/Generate?p=huSfxydyg
Version 2025.0



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YOUR HOME. OUR PASSION.

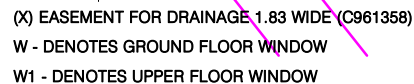
DESIGN NAME:	FACADE NAME:
BROOKLY 37 -	ESPLANADE (NO
DISPLAY	BALCONY)
PACKAGE:	JOB NO:
PRESTIGE	25-1048

DRIVEWAY GRADIENT	
SCALE: 1 : 50 @ A3	
DATE: 03.07.26	SHEET NO: 005

CLIENT'S NAME:	
MR. SON LE HOANG	
MRS. YOUNG SOOK MOON	
SIGNATURE: _____	DATE: _____
I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.	

SITE ADDRESS:	REVISION:
LOT: 18	DP: 19247
91 WINDSOR ROAD	
PADSTOW	NSW 2211

B-2



-BOREHOLE REPORT SHOWS NO ROCK
WITHIN SITE. MINIMAL VIBRATION AND NOISE
DURING PIER HOLE DRILLING.

- SITE PLAN INDICATES MINIMAL CUT AND FIL
PLANT USE WILL BE LOW IMPACT AND FOR
MINIMAL TIMBERFRAMES.

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.

4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

Diagram illustrating the trench for a geotextile filter fabric. The trench is 150x100mm, filled with compacted backfill (set into concrete if on rock). The fabric is attached to timber posts and is to be laid below the trench. The trench is 3m long. The ground is disturbed and undisturbed. The trench is 1.5m high, with 3.0m C/MAX driven into the ground. The direction of overland water flow is indicated.

	CONSTRUCTION FENCE
	SEDIMENT CONTROL FENCE
	WASTE STOCKPILE
	BUILDERS WASTE
	ALL WEATHER ACCESS
	ONSITE PORTABLE TOILET

SITE MANAGEMENT PLAN

SCALE: As indicated @ A3

DATE:
03.07.26

SHEET NO:
006

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

SIGNATURE:

DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:

LOT: 18

91 WINDSOR ROAD

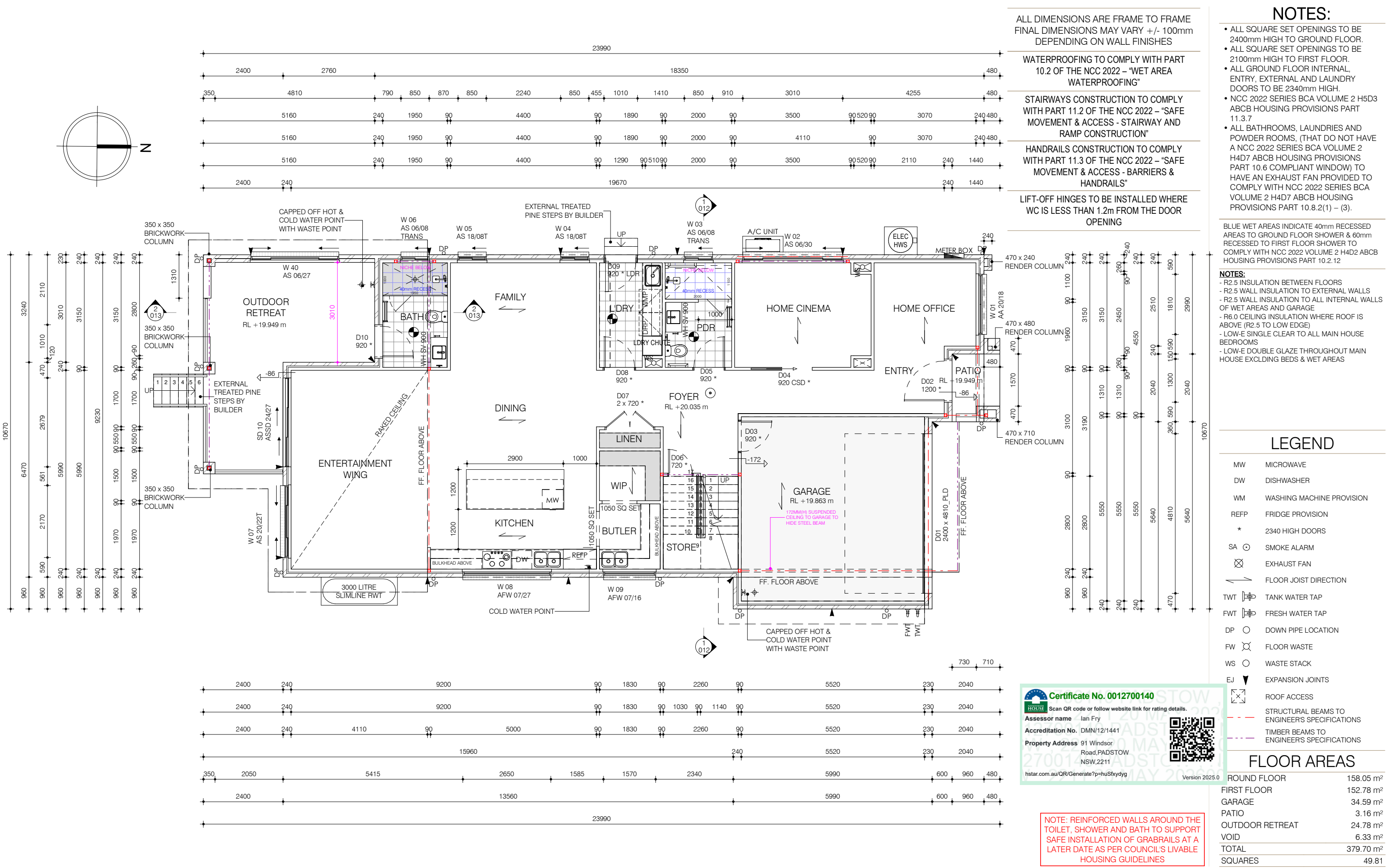
PADSTOW

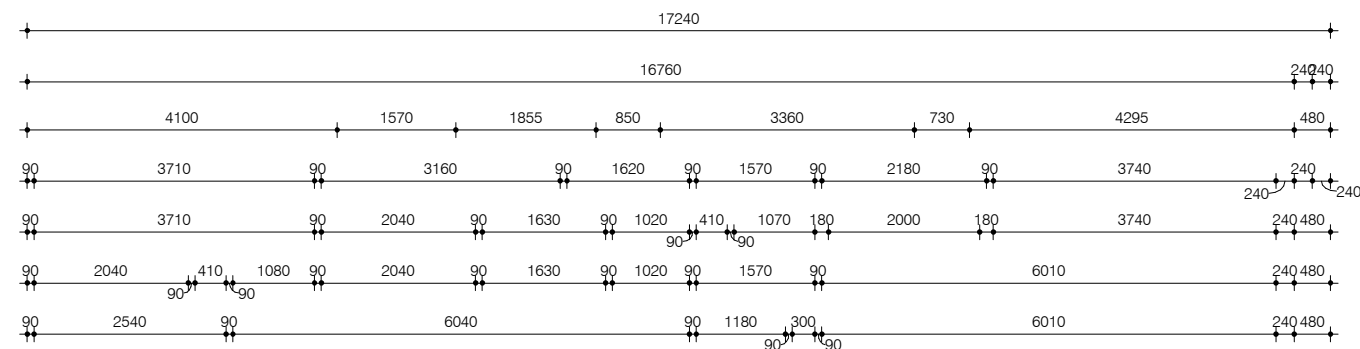
DP: 19247

NSW 2211

REVISION:

B-2





WATERPROOFING TO COMPLY WITH PART
10.2 OF THE NCC 2022 – "WET AREA
WATERPROOFING"

STAIRWAYS CONSTRUCTION TO COMPLY
WITH PART 11.2 OF THE NCC 2022 – “SAFE
MOVEMENT & ACCESS - STAIRWAY AND
RAMP CONSTRUCTION”

HANDRAILS CONSTRUCTION TO COMPLY
WITH PART 11.3 OF THE NCC 2022 – “SAFE
MOVEMENT & ACCESS - BARRIERS &
HANDRAILS”

LIFT-OFF HINGES TO BE INSTALLED WHERE
WC IS LESS THAN 1.2m FROM THE DOOR
OPENING

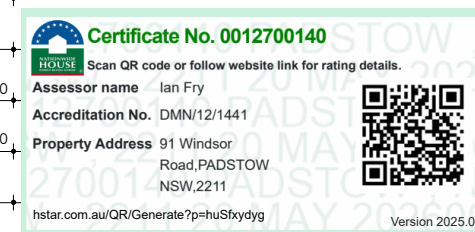
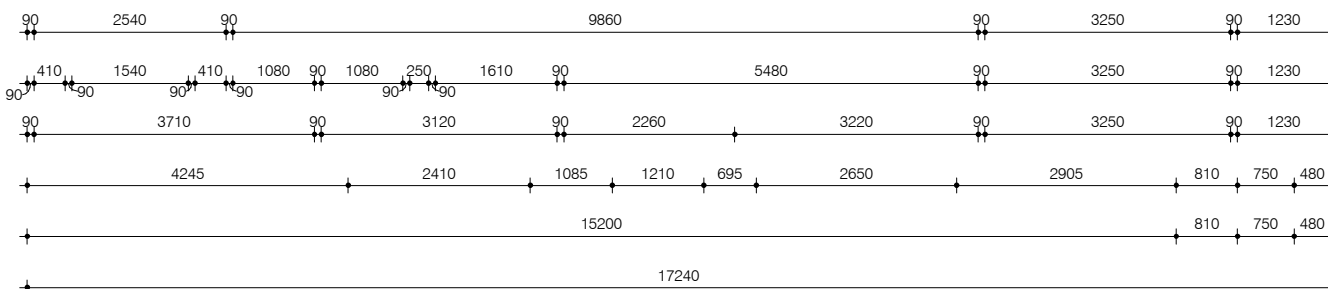
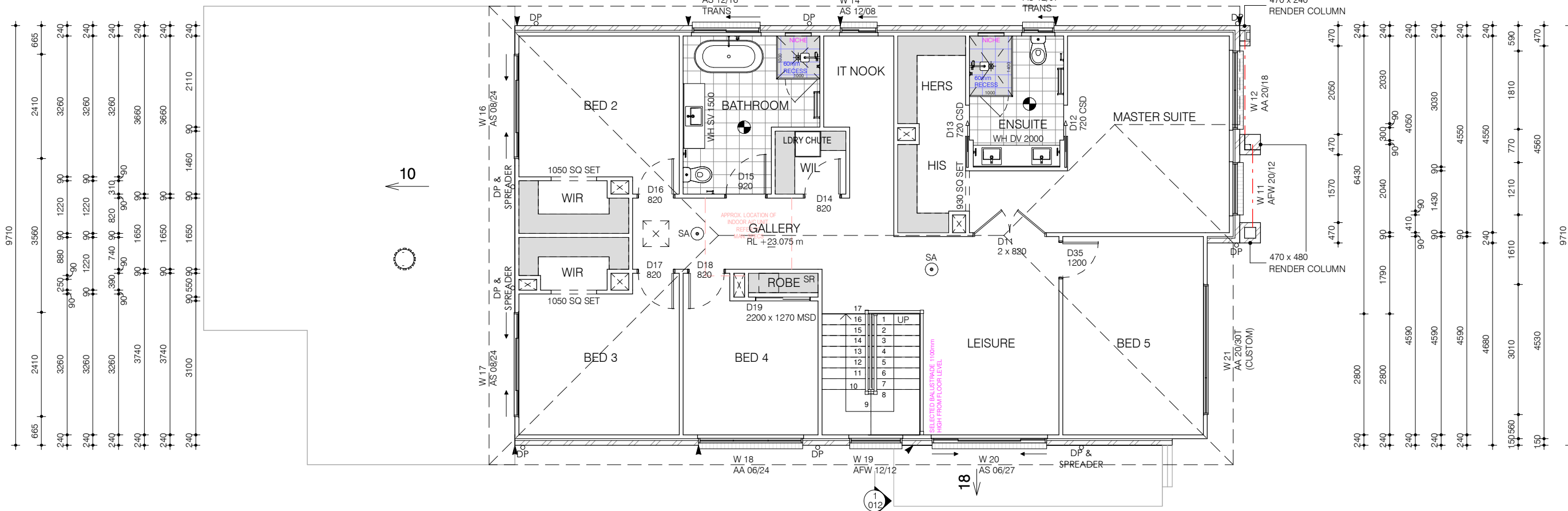
- ALL SQUARE SET OPENINGS TO BE 2400mm HIGH TO GROUND FLOOR.
- ALL SQUARE SET OPENINGS TO BE 2100mm HIGH TO FIRST FLOOR.
- ALL GROUND FLOOR INTERNAL, ENTRY, EXTERNAL AND LAUNDRY DOORS TO BE 2340mm HIGH.
- NCC 2022 SERIES BCA VOLUME 2 H5D3 ABCB HOUSING PROVISIONS PART 11.3.7
- ALL BATHROOMS, LAUNDRIES AND POWDER ROOMS, (THAT DO NOT HAVE A NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.6 COMPLIANT WINDOW) TO HAVE AN EXHAUST FAN PROVIDED TO COMPLY WITH NCC 2022 SERIES BCA VOLUME 2 H4D7 ABCB HOUSING PROVISIONS PART 10.8.2(1) – (3).

BLUE WET AREAS INDICATE 40mm RECESSED
AREAS TO GROUND FLOOR SHOWER & 60mm
RECESSED TO FIRST FLOOR SHOWER TO
COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB
HOUSING PROVISIONS PART 10.2.12

- R2.5 INSULATION BETWEEN FLOORS
- R2.5 WALL INSULATION TO EXTERNAL WALLS
- R2.5 WALL INSULATION TO ALL INTERNAL WALLS OF WET AREAS AND GARAGE
- R6.0 CEILING INSULATION WHERE ROOF IS ABOVE (R2.5 TO LOW EDGE)
- LOW-E SINGLE CLEAR TO ALL MAIN HOUSE BEDROOMS
- LOW-E DOUBLE GLAZE THROUGHOUT MAIN HOUSE EXCLUDING BEDS & WET AREAS

MW	MICROWAVE
DW	DISHWASHER
WM	WASHING MACHINE PROVISION
REFP	FRIDGE PROVISION
★	2340 HIGH DOORS
SA	SMOKE ALARM
	EXHAUST FAN
	FLOOR JOIST DIRECTION
TWT	TANK WATER TAP
FWT	FRESH WATER TAP
DP	DOWN PIPE LOCATION
FW	FLOOR WASTE
WS	WASTE STACK
EJ	EXPANSION JOINTS
	ROOF ACCESS
	STRUCTURAL BEAMS TO ENGINEER'S SPECIFICATIONS
	TIMBER BEAMS TO ENGINEER'S SPECIFICATIONS

GROUND FLOOR	158.05 m ²
FIRST FLOOR	152.78 m ²
GARAGE	34.59 m ²
PATIO	3.16 m ²
OUTDOOR RETREAT	24.78 m ²
VOID	6.33 m ²
TOTAL	379.70 m²
SQUARES	49.8



DESIGN NAME:	FACADE NAME:
BROOKLY 37 -	ESPLANADE (NO
DISPLAY	BALCONY)
PACKAGE:	JOB NO:
PRESTIGE	25-1048

FIRST FLOOR PLAN

SCALE: 1 : 100 @ A3

DATE:
03.07.26

SHEET NO:
008

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

SIGNATURE: _____

DATE _____

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES

SITE ADDRESS:

LOT: 18

91 WINDSOR ROAD

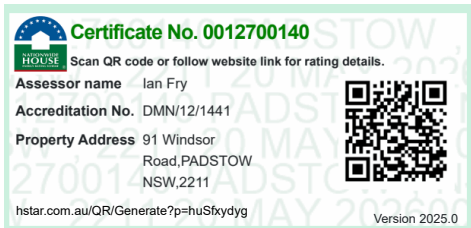
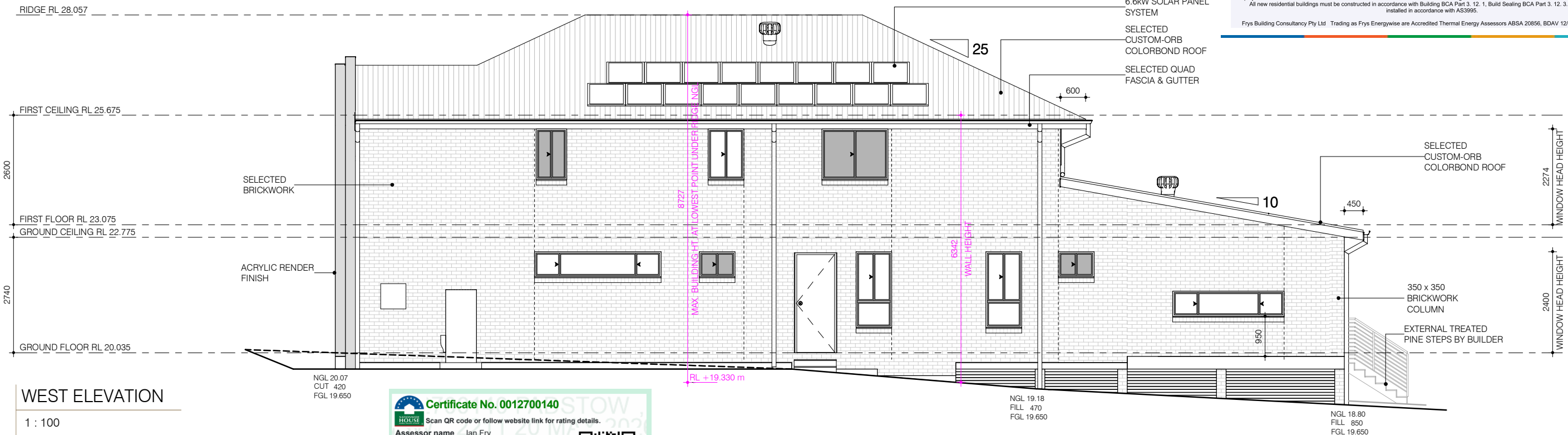
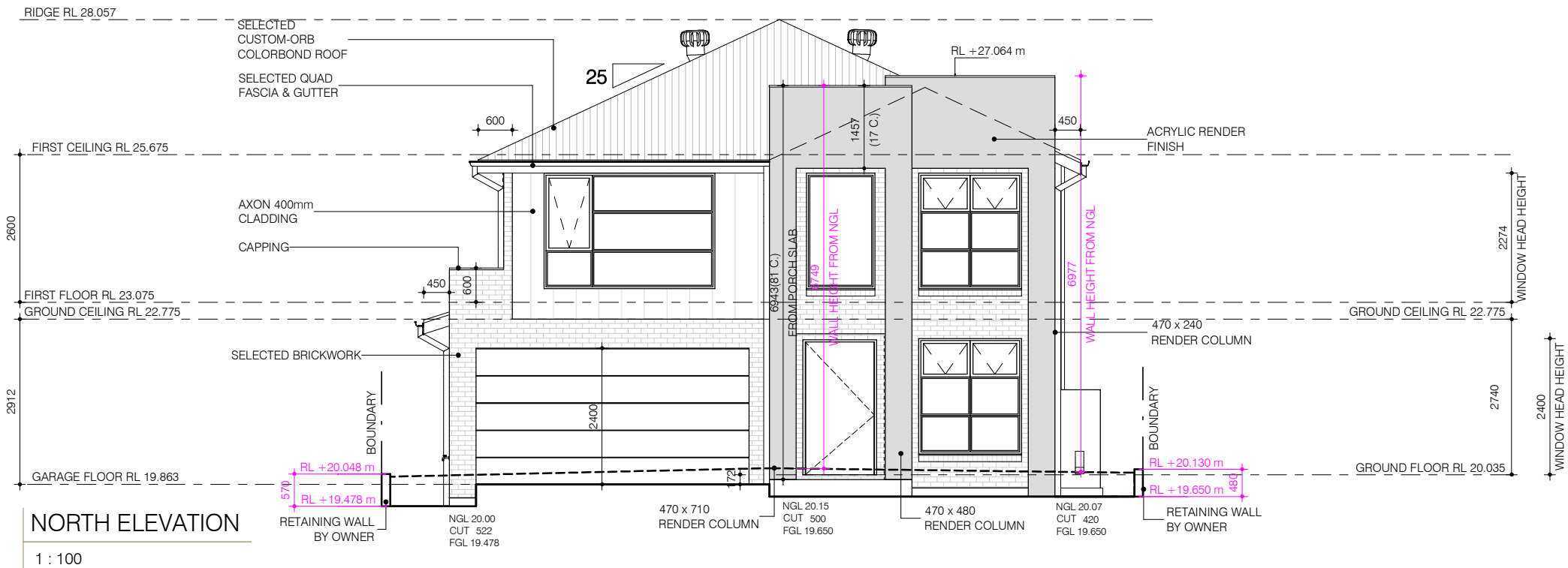
PADSTOW

DP: 19247

NSW 2211

REVISION:

B-2



FRYS ENERGY WISE										BASIX & THERMAL COMMITMENTS					New Homes & Apartments Renovations Swimming Pools Older Homes & Commercial/Industrial Buildings				
Date		20/05/2026		Job Number		Hoang 25-1048		Reference		SK-6		REQUIRED CHANGES HIGHLIGHTED							
Unit/Number		Lot		DP		Street		Suburb		Post Code		State							
91		18		19247		Windsor Road		Padstow		2211		NSW							
Floors		Material		Added Insulation		To Cantilever/Suspended Floor Coverings		As shown on plans											
Granny Flat		Waffle Pod 225mm																	
MH Ground		CSOG & Susp. conc						R2.5 Insulation											
MH 1st Floor		Alpha Floor		R2.5 Insulation		Above Garage only		R2.5 Insulation											
Walls		Colour		External Material		Insulation		Internal Material		Internal Insulated									
Ground		Default		Brick Veneer Timber frame		R2.5, air gap		Plaster Timber 90mm		L'dry, Pdr, Bath		R2.5							
1st Floor		Default		Brick Veneer Timber frame		R2.5, air gap		Plaster Timber 90mm		Bath		R2.5							
		Default		Fibre Cement Timber Frame		R2.5				Garage		R2.5							
Ceilings		Material		Insulation to Roof Above		Roof		Insulation		Material		Colour		Ventilated					
Ground		Plaster Timber Frame		R6.0 R2.5 to Low Edge		Ground		Anticon 50mm (R1.3)		Metal		Default		No					
1st Floor		Plaster Timber Frame		R6.0 R2.5 to Low Edge		1st Floor		Anticon 50mm (R1.3)				Default		No					
Glazing		Please Refer to the NATHERS (or BASIX) Certificate for all external glazing. To comply you must use glazing with the same opening and frame type, the U value must be the same or lower and have an SHGC value within the range given. THE BELOW GLAZING NOMINATIONS ARE AN INDICATION ONLY PLEASE REFERENCE THE CERTIFICATE(S).																	
Supplier		Glazing Type Required		Location(s) of Glazing Required															
Trend		Standard Single Clear		All Wet Areas: Throughout Granny Flat															
		Low-e Single Clear		All Main House Beds															
		Low-e Double Glaze		Throughout Main House excluding beds wet areas															
Notes																			
Ceiling Fans		Fan Size																	
Water		Landscape Area		Low Water Area		Rain Water Tank, connected to		Roof Area to Tank		Recycled Water, connected to									
		313.79 m2		0 m2		3,000L Garden, WC, Laundry		80% of Roof		No									
Showerheads						Toilets		Kitchen Taps		Bathroom Taps		Swimming Pool							
4 Star > 6 but less < or = 7.5 litres per minute						4 Star		4 Star		4 Star		No							
Energy		Hot Water		Rating		Air Conditioning		3 Phase		Other									
		Heat Pump		21 to 25 STCs		Cooling 3.0 - 3.5 EER - Heating 3.0 - 3.5 EER				Outdoor Clothes Line									
Solar Photovoltaic System		Orientation						Cooking											
Yes		6.6 KW		West				Induction Cooktop/ Electric Oven											
Ventilation		Laundry		Bathroom		Kitchen													
		Ducted		Ducted		Ducted													
Site: 817.5sqm																			
Roof: 350.64sqm																			
The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated. All new residential buildings must be constructed in accordance with Building BCA Part 3.12. 1. Build Sealing BCA Part 3.12. 3. Insulation must be installed in accordance with AS3995.																			
Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 2011291																			



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DESIGN NAME: BROOKLY 37 - DISPLAY PACKAGE: PRESTIGE

FACADE NAME: ESPLANADE (NO BALCONY) JOB NO: 25-1048

ELEVATIONS

SCALE: 1 : 100 @ A3

DATE: 03.07.26 SHEET NO: 009

CLIENT'S NAME: MR. SON LE HOANG

MRS. YOUNG SOOK MOON

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

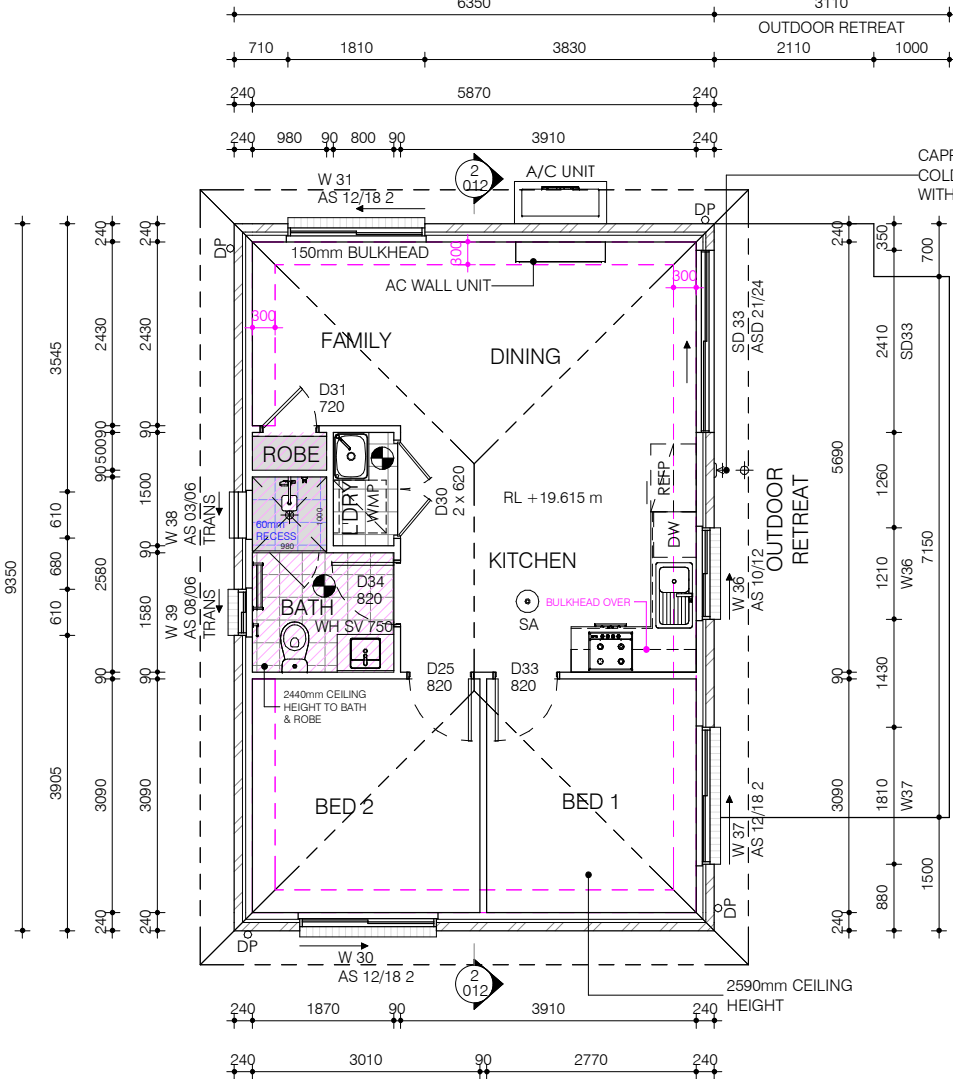
SITE ADDRESS: LOT: 18 DP: 19247

91 WINDSOR ROAD

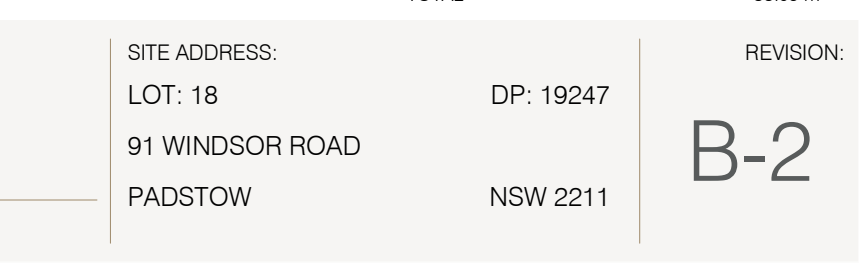
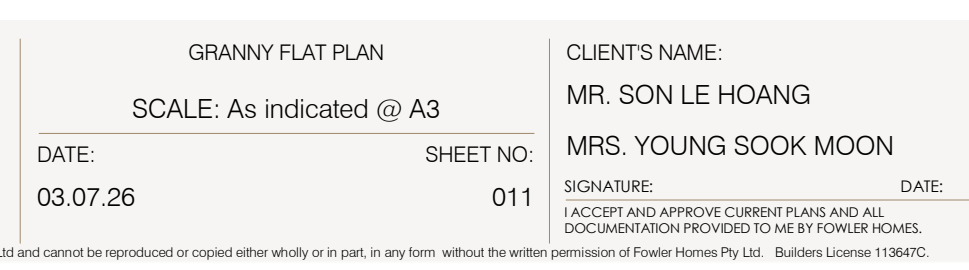
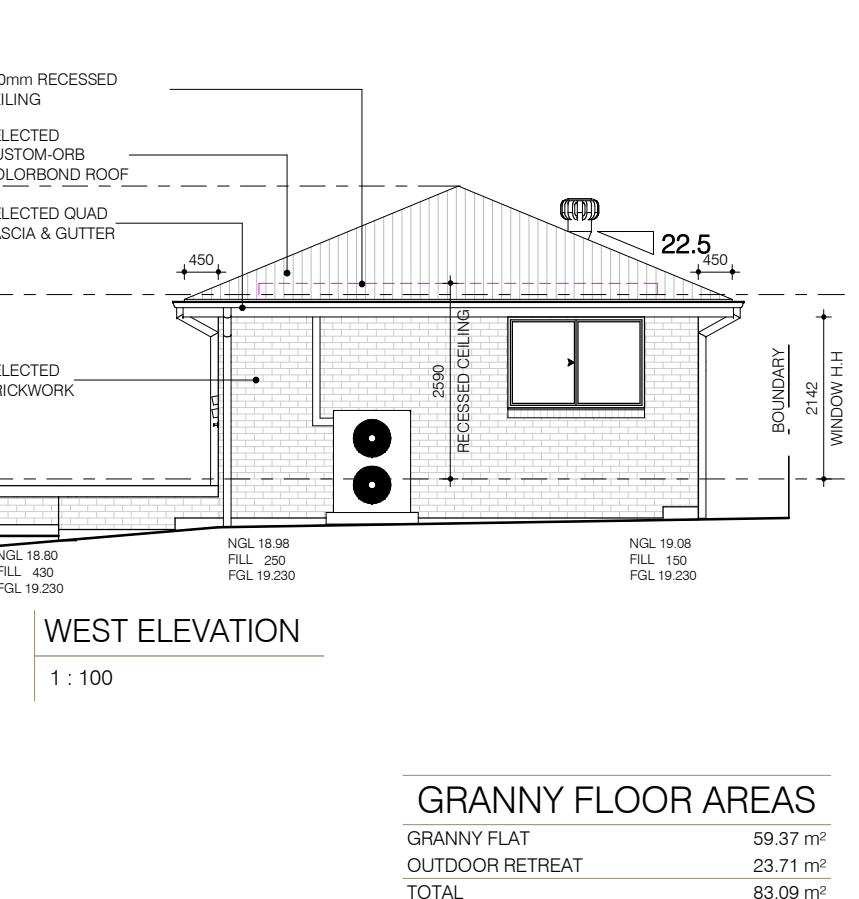
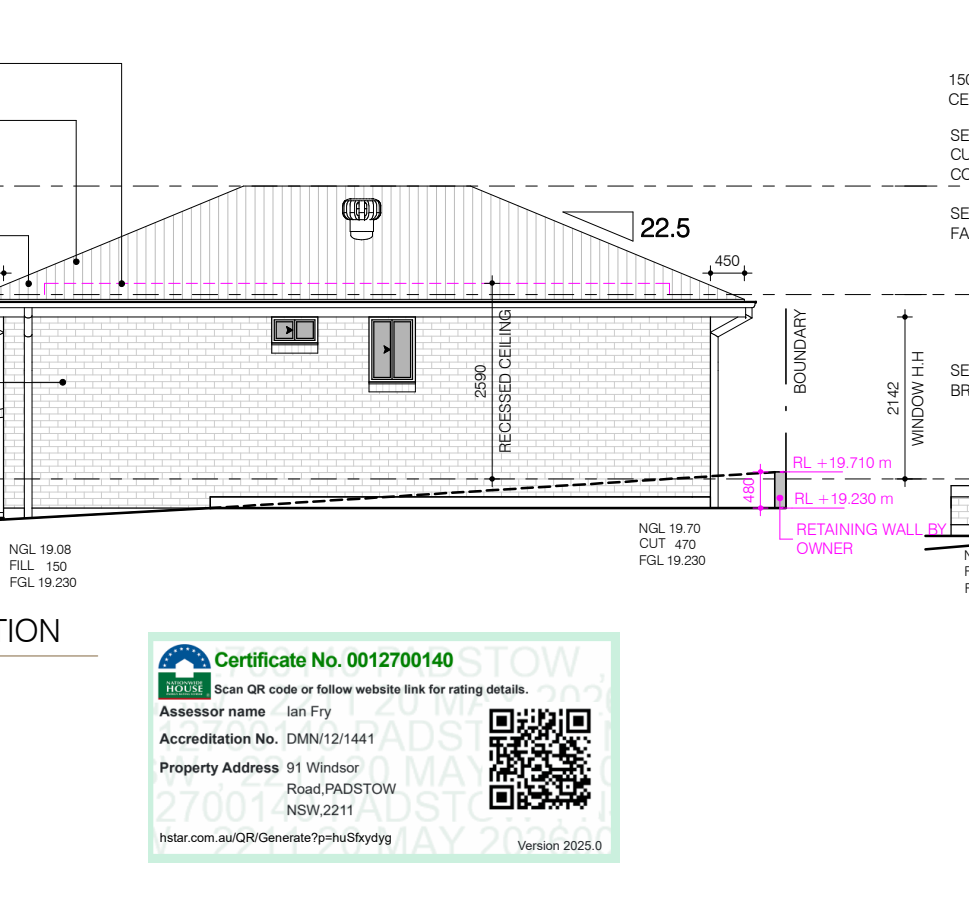
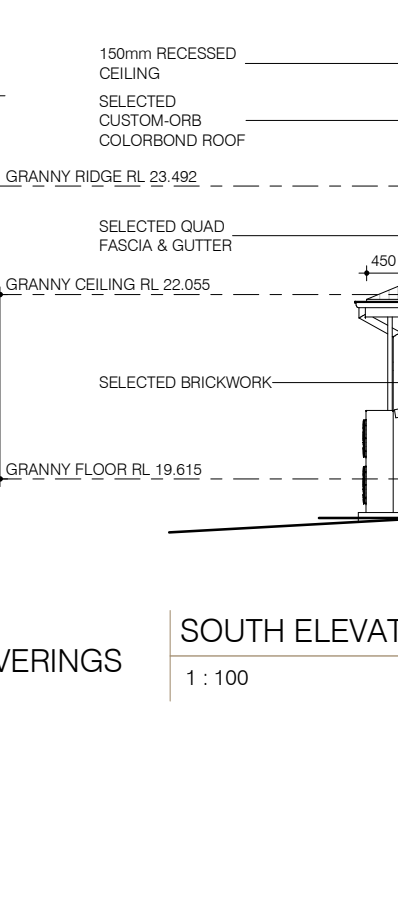
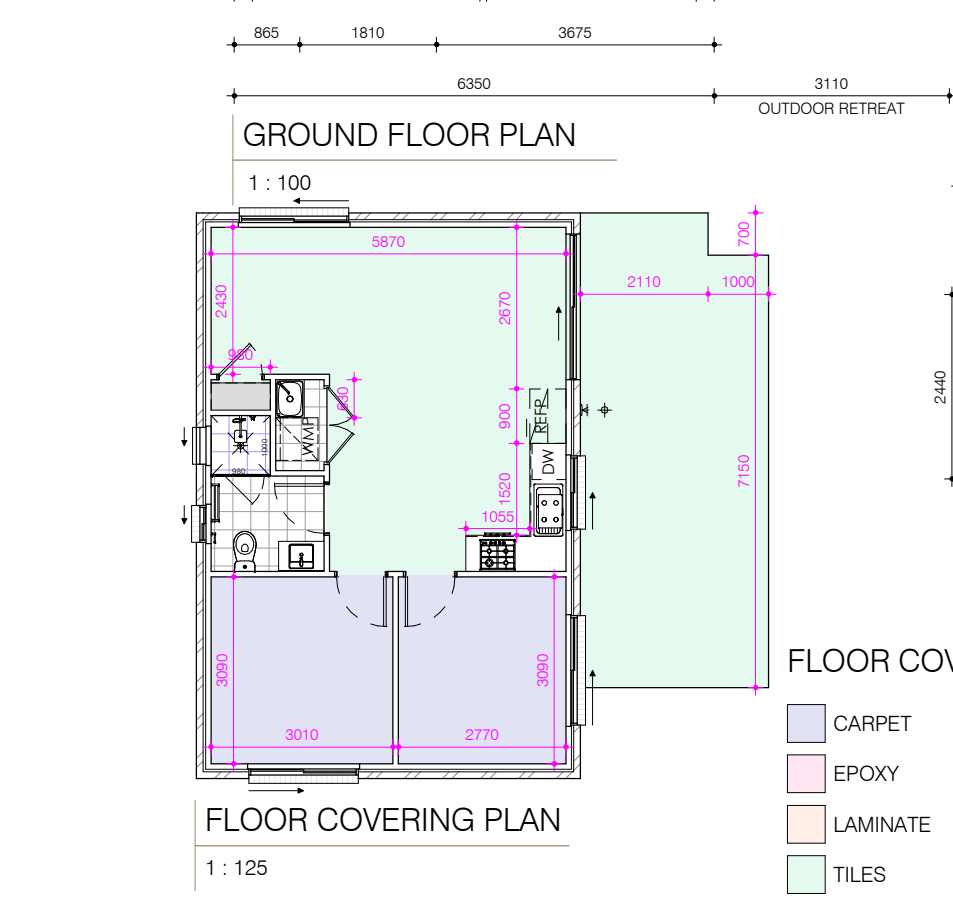
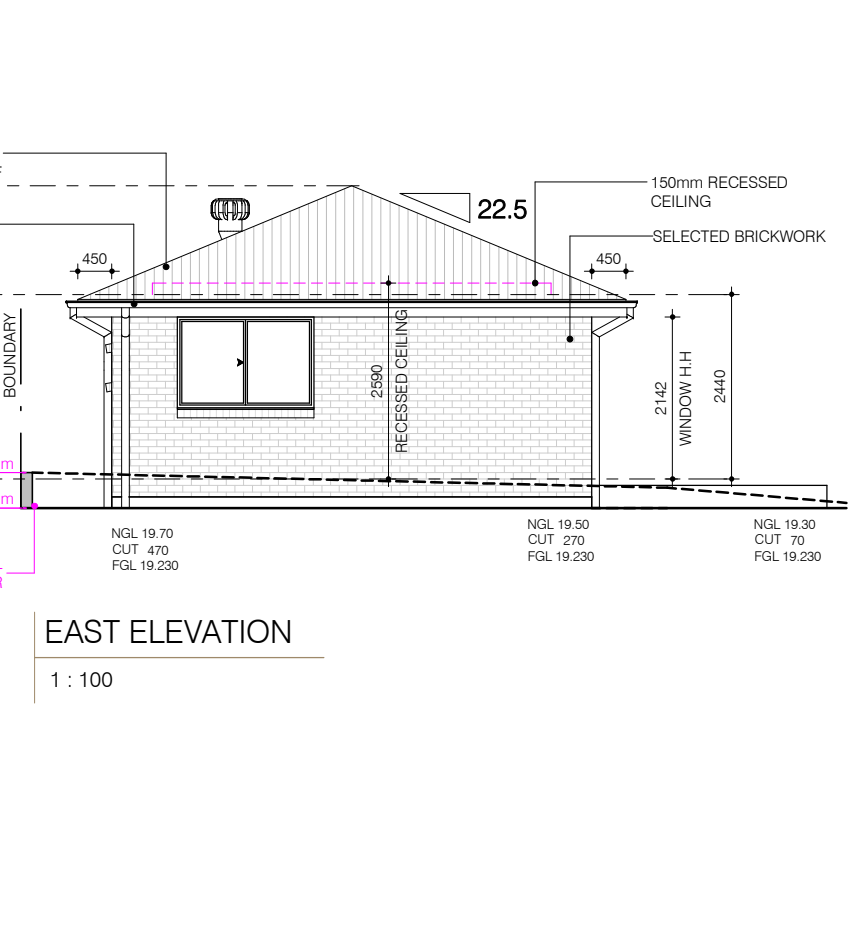
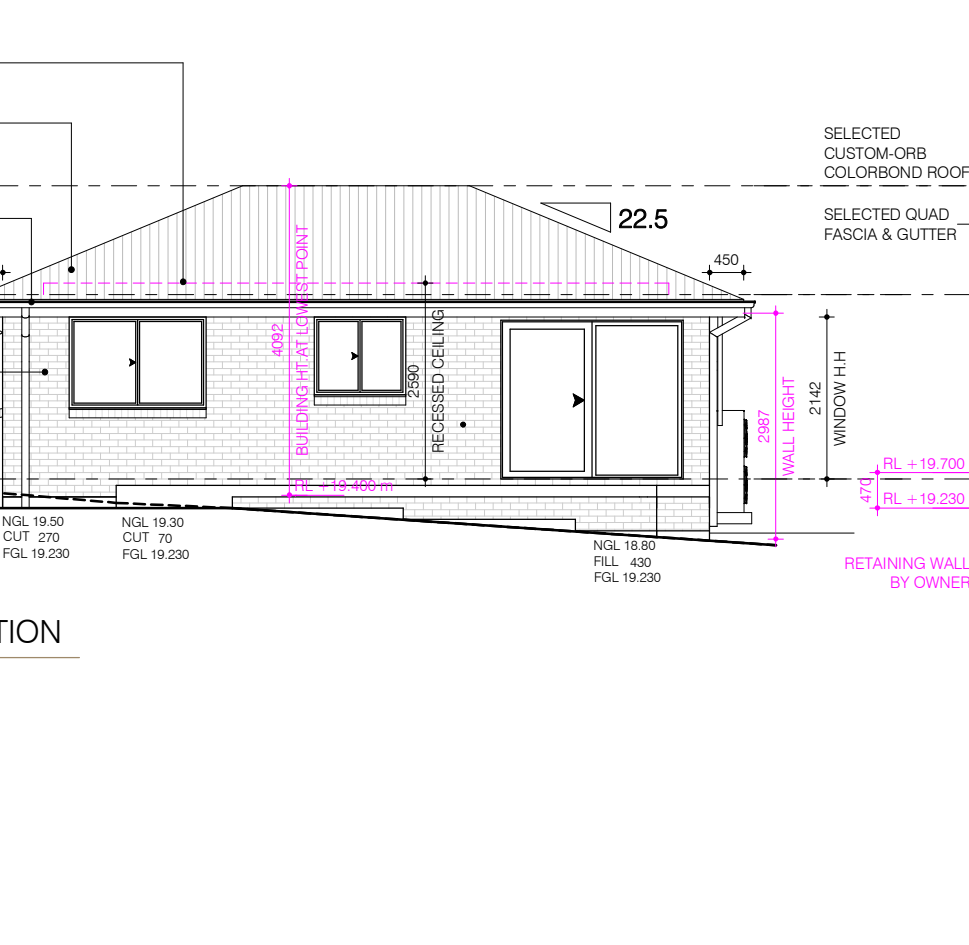
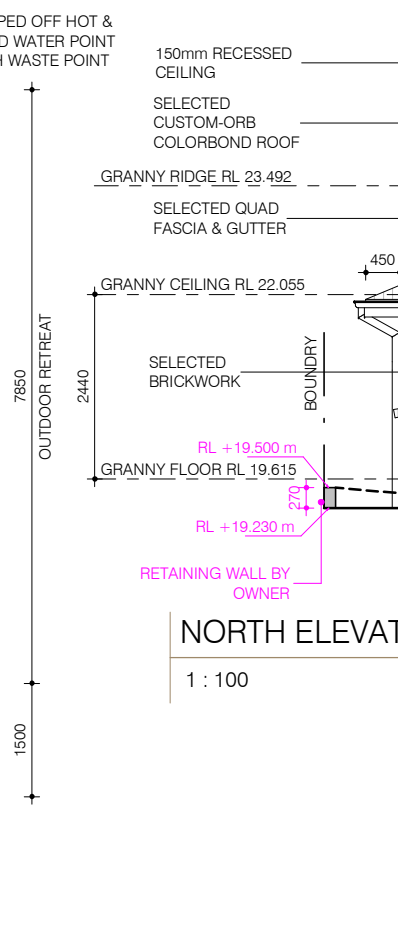
PADSTOW NSW 2211

REVISION:

B-2



NOTE: REINFORCED WALLS AROUND THE TOILET, SHOWER AND BATH TO SUPPORT SAFE INSTALLATION OF GRABRAILS AT A LATER DATE AS PER COUNCIL'S LIVABLE HOUSING GUIDELINES



GRANNY FLOOR AREAS	
GRANNY FLAT	59.37 m²
OUTDOOR RETREAT	23.71 m²
TOTAL	83.09 m²



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DESIGN NAME: BROOKLY 37 - DISPLAY PACKAGE: PRESTIGE

FACADE NAME: ESPLANADE (NO BALCONY) JOB NO: 25-1048

GRANNY FLAT PLAN

SCALE: As indicated @ A3

DATE: 03.07.26

SHEET NO: 011

CLIENT'S NAME: MR. SON LE HOANG

MRS. YOUNG SOOK MOON

SIGNATURE: _____

DATE: _____

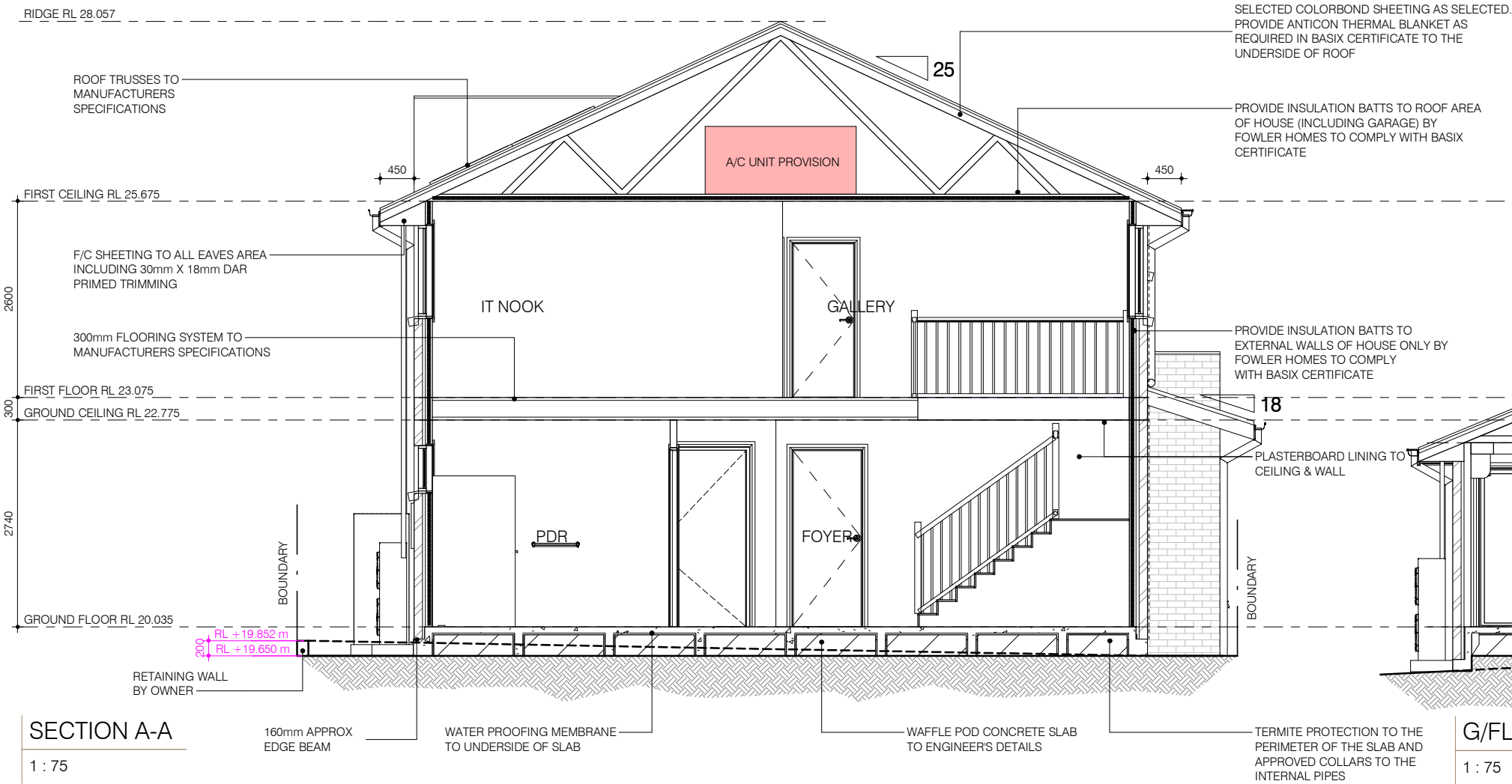
SITE ADDRESS: LOT: 18 91 WINDSOR ROAD PADSTOW NSW 2211

DP: 19247

REVISION: B-2

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RIDGE RL 28.057



SECTION A-A

1 : 75

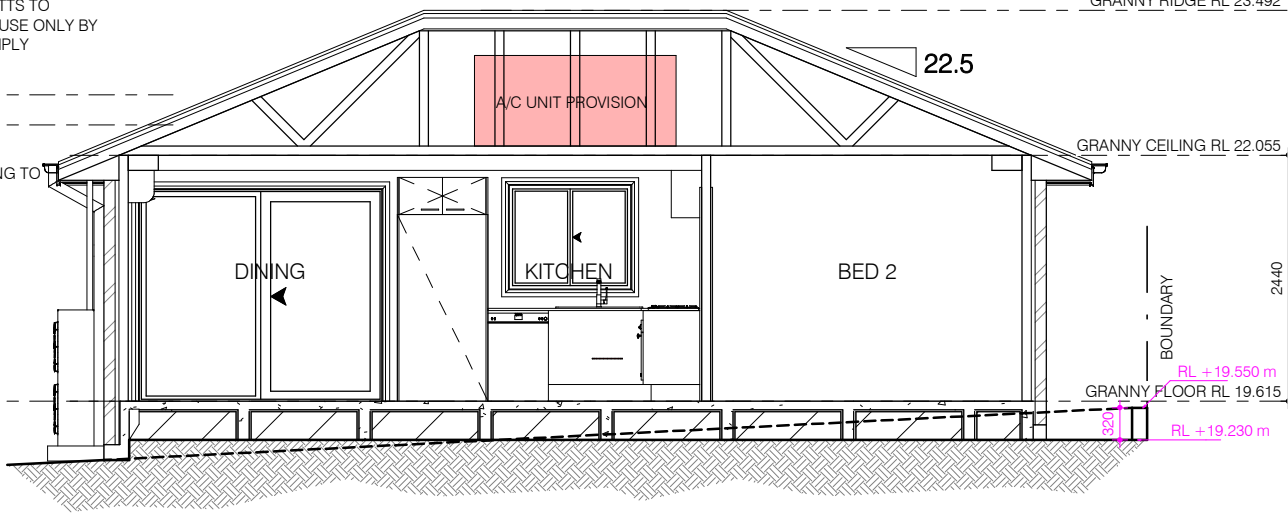
SELECTED COLORBOND SHEETING AS SELECTED.
PROVIDE ANTICON THERMAL BLANKET AS
REQUIRED IN BASIX CERTIFICATE TO THE
UNDERSIDE OF ROOF

PROVIDE INSULATION BATTS TO ROOF AREA
OF HOUSE (INCLUDING GARAGE) BY
FOWLER HOMES TO COMPLY WITH BASIX
CERTIFICATE

PROVIDE INSULATION BATTS TO
EXTERNAL WALLS OF HOUSE ONLY BY
FOWLER HOMES TO COMPLY
WITH BASIX CERTIFICATE

PLASTERBOARD LINING TO
CEILING & WALL

TERMITE PROTECTION TO THE
PERIMETER OF THE SLAB AND
APPROVED COLLARS TO THE
INTERNAL PIPES



G/FLAT SECTION

1 : 75

NCC 2022 HOUSING PROVISIONS - Part 10.8 Condensation Management			NCC 2022 HOUSING PROVISIONS - Part 10.8 Condensation Management			NCC 2022 HOUSING PROVISIONS - Part 10.8 Condensation Management		
PROJECT DETAILS			PROJECT DETAILS			PROJECT DETAILS		
ROOF DESCRIPTION:	ROOF "A"		ROOF DESCRIPTION:	ROOF "B"		ROOF DESCRIPTION:	ROOF "D"	
BUSHFIRE AFFECTED:	NO		BUSHFIRE AFFECTED:	NO		BUSHFIRE AFFECTED:	NO	
CLIMATE ZONE:	5		CLIMATE ZONE:	5		CLIMATE ZONE:	5	
ROOF PITCH:	25°		ROOF PITCH:	10°		ROOF PITCH:	22.5°	
EAVE LENGTH:	17.36m		EAVE LENGTH:	10.61m		EAVE LENGTH:	10.25m	
CALCULATIONS			CALCULATIONS			CALCULATIONS		
EAVE VENT AREA REQUIRED:	121520mm²		EAVE VENT AREA REQUIRED:	265250mm²		EAVE VENT AREA REQUIRED:	71750mm²	
ROOF VENT AREA REQUIRED:	86800mm²		ROOF VENT AREA REQUIRED:	53050mm²		ROOF VENT AREA REQUIRED:	51250mm²	
SPECIFICATIONS			SPECIFICATIONS			SPECIFICATIONS		
EXTERNAL WALL CONSTRUCTION:			EXTERNAL WALL CONSTRUCTION:			EXTERNAL WALL CONSTRUCTION:		
PLIABLE MEMBRANE:	YES		PLIABLE MEMBRANE:	YES		PLIABLE MEMBRANE:	YES	
WALL WRAP PERMEANCE VALUE:	1.14 ug/N.s		WALL WRAP PERMEANCE VALUE:	1.14 ug/N.s		WALL WRAP PERMEANCE VALUE:	1.14 ug/N.s	
EAVE VENTS:			EAVE VENTS:			EAVE VENTS:		
EAVE VENT MANUFACTURER AND MODEL:	BRADFORD METAL EAVE VENT		EAVE VENT MANUFACTURER AND MODEL:	BRADFORD METAL EAVE VENT		EAVE VENT MANUFACTURER AND MODEL:	BRADFORD METAL EAVE VENT	
EAVE VENT OPENNESS FACTOR:	35000 mm²		EAVE VENT OPENNESS FACTOR:	35000 mm²		EAVE VENT OPENNESS FACTOR:	35000 mm²	
NUMBER OF EAVE VENTS REQUIRED:	3.472		NUMBER OF EAVE VENTS REQUIRED:	7.578571		NUMBER OF EAVE VENTS REQUIRED:	2.05	
ROOF VENTS:			ROOF VENTS:			ROOF VENTS:		
ROOF VENT MANUFACTURER AND MODEL:	AMPELITE SPINAWAY		ROOF VENT MANUFACTURER AND MODEL:	AMPELITE SPINAWAY		ROOF VENT MANUFACTURER AND MODEL:	AMPELITE SPINAWAY	
ROOF VENT OPENNESS FACTOR:	62500 mm²		ROOF VENT OPENNESS FACTOR:	62500 mm²		ROOF VENT OPENNESS FACTOR:	62500 mm²	
NUMBER OF ROOF VENTS REQUIRED:	1.3888		NUMBER OF ROOF VENTS REQUIRED:	0.8488		NUMBER OF ROOF VENTS REQUIRED:	0.82	

NCC NOTES:

- DWELLING CONSISTS OF TIMBER FRAMES
- MECHANICAL VENTILATION MUST HAVE MINIMUM EXHAUST RATE OF 25L/A. WITH EXHAUST BEING DUCTED TO THE OUTSIDE WITH THE FANS BEING ACTIVATED BY THE LIGHT SWITCH AND HAVING A 10-MINUTE RUN ON AS REQUIRED BY THE NCC 2022 SERIES BCA VOLUME 2 H4D7 HOUSING PROVISIONS PART 10.6.2.
- WET AREAS TO BE 40MM RECESSED AREAS TO GROUND FLOOR & 50MM TO FIRST FLOOR TO COMPLY WITH NCC 2022 VOLUME 2 H4D2 ABCB HOUSING PROVISIONS PART 10.2.12.
- FLOOR WASTE LOCATIONS TO BE CONFIRMED AT CONSTRUCTION DRAWINGS TO COMPLY WITH ABCB HOUSING PROVISIONS PARTS 10.2.7 THROUGH 10.2.32.
- ALL EXTERNAL SIDE HUNG DOOR AND ANY INTERNAL SIDE HUNG DOOR BETWEEN THE DWELLING AND THE GARAGE AS BEING PROVIDED WITH A DRAFT PROTECTION DEVICE AND THE OUTER EDGES OF THE DOOR BEING FITTED WITH A FOAM, RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE TO RESTRICT AIR INFILTRATION TO COMPLY WITH NCC 2022 BCA VOLUME 2 PART H6 HOUSING PROVISIONS 13.4.4.
- SHOULD A Pliable MEMBRANE BE PROPOSED PROVIDE PLANS NOMINATING THE MEMBRANE HAS A 'VAPOUR PERMEANCE' OF NO LESS THAN 1.14ug/N.s AS REQUIRED BY THE NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.1(2)(B) 7. PROVIDE PLANS INDICATING THE LOCATIONS OF THE REQUIRED MINIMUM OF 7000mm²/M OF ROOF VENTILATION AT THE EAVES AS REQUIRED BY THE NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.3(1)(C) AND TABLE 10.8.3.
- CEILING INSTALLATION BEING INSTALLED SO THAT THERE IS A MINIMUM GAP OF 20MM BETWEEN INSULATION AND SARKING TO COMPLY WITH NCC 2022 BCA VOLUME 2 HOUSING PROVISIONS 10.8.3(1)(B) AND EXPLANATORY FIGURE 10.8.3.
- DWELLING IS LOCATED WITHIN CLIMATE ZONE 5 AND SHOULD BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT NCC PROVISIONS.



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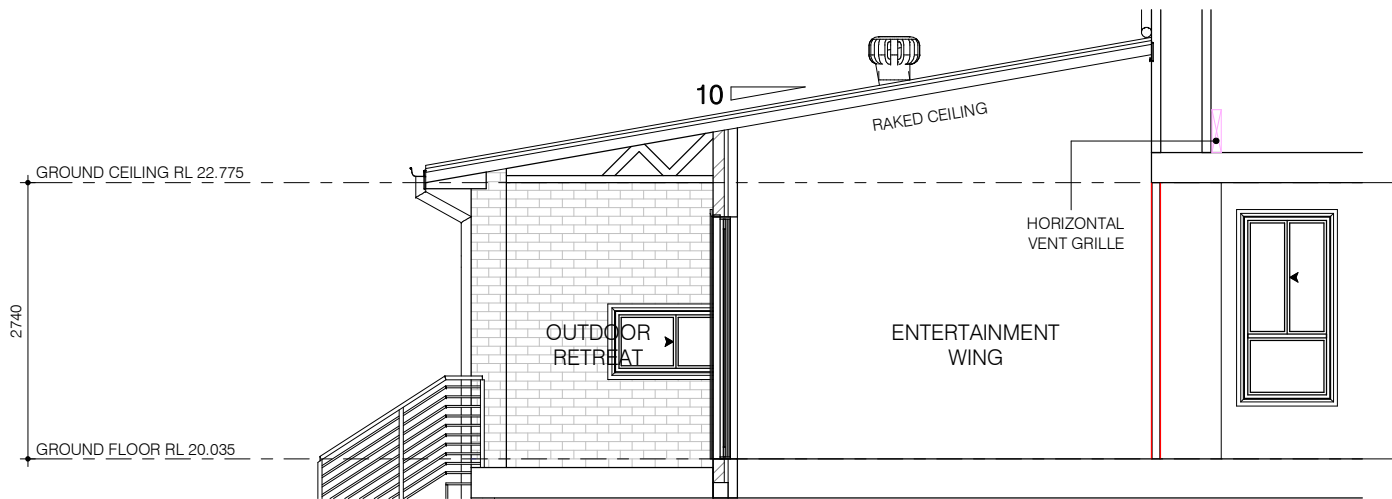
DESIGN NAME: FACADE NAME:
BROOKLY 37 - ESPLANADE (NO
DISPLAY BALCONY)
PACKAGE: JOB NO:
PRESTIGE 25-1048

SECTION
SCALE: 1 : 75 @ A3
DATE: SHEET NO:
03.07.26 012

CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: DATE:

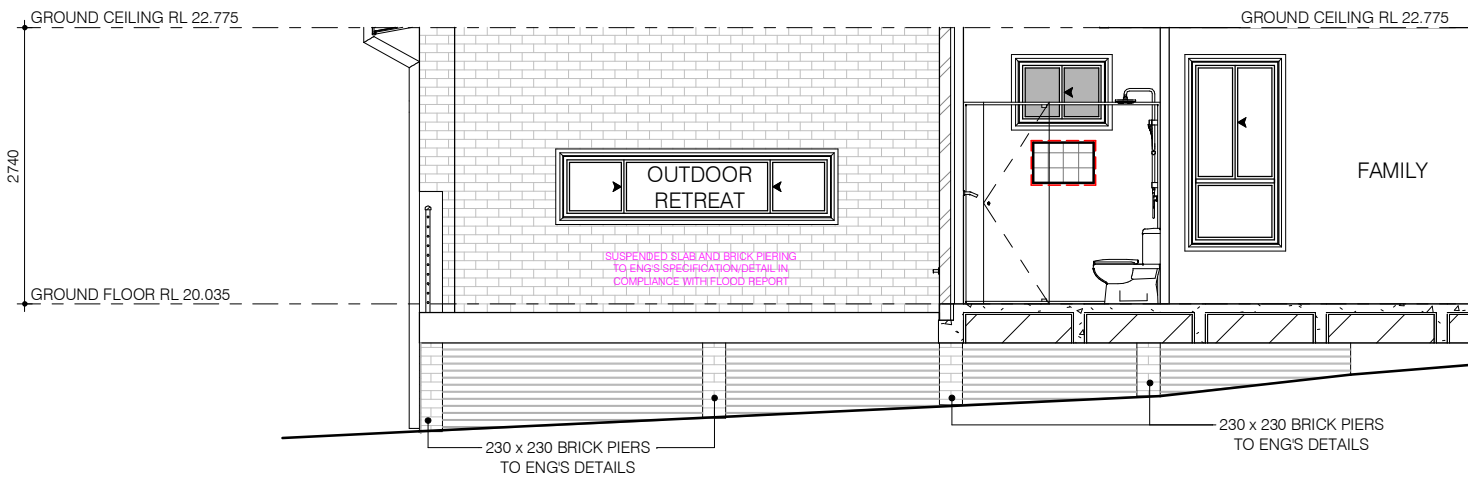
SITE ADDRESS:
LOT: 18 DP: 19247
91 WINDSOR ROAD
PADSTOW NSW 2211

REVISION:
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RAKED CEILING

1 : 75



SUSPENDED SLAB DETAIL

1 : 75

**Certificate No. 0012700140**

Scan QR code or follow website link for rating details.

Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 91 Windsor Road, PADSTOW NSW, 2211

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DESIGN NAME: BROOKLY 37 - DISPLAY PACKAGE: PRESTIGE
FACADE NAME: ESPLANADE (NO BALCONY) JOB NO: 25-1048

DETAILS
SCALE: 1 : 75 @ A3
DATE: 03.07.26 SHEET NO: 013

CLIENT'S NAME: MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS: LOT: 18 DP: 19247
91 WINDSOR ROAD
PADSTOW NSW 2211

REVISION:

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WINDOW & SLIDING DOOR SCHEDULE									
TYPE	MARK	CODE	HEIGHT	WIDTH	STYLE	FRAME TYPE	OBSCURE D GLAZING	GLAZING	GLAZING
GRANNY FLOOR									
W	30	AS 12/18 2	1200	1810	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
W	31	AS 12/18 2	1200	1810	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
SD	33	ASD 21/24	2100	2410	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
W	36	AS 10/12	1030	1210	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
W	37	AS 12/18 2	1200	1810	SLIDING	STANDARD ALUMINIUM	No		SINGLE CLEAR
W	38	AS 03/06	342	610	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	39	AS 08/06	857	610	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
GROUND FLOOR									
W	01	AA 20/18	2035	1810	AWNING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	02	AS 06/30	600	3010	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	03	AS 06/08	600	850	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	04	AS 18/08T	1800	850	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	05	AS 18/08T	1800	850	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	06	AS 06/08	600	850	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	07	AS 20/22T	2035	2170	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	08	AFW 07/27	700	2650	FIXED	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	09	AFW 07/16	700	1570	FIXED	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
SD	10	ASSD 24/27	2400	2679	STACKING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	40	AS 06/27	600	2650	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
FIRST FLOOR									
W	11	AFW 20/12	2035	1210	FIXED	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	12	AA 20/18	2035	1810	AWNING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	13	AS 12/07	1200	730	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	14	AS 12/08	1200	850	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	15	AS 12/16	1200	1570	SLIDING	STANDARD ALUMINIUM	Yes		SINGLE CLEAR
W	16	AS 08/24	857	2410	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	17	AS 08/24	857	2410	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	18	AA 06/24	600	2410	AWNING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR
W	19	AFW 12/12	1200	1210	FIXED	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	20	AS 06/27	600	2650	SLIDING	STANDARD ALUMINIUM	No	LOW-E GLAZING	DOUBLE GLAZE
W	21	AA 20/30T (CUSTOM)	2035	3010	AWNING	STANDARD ALUMINIUM	No	LOW-E GLAZING	SINGLE CLEAR

DOOR SCHEDULE				
MARK	TYPE	HEIGHT	WIDTH	TO ROOM
GRANNY FLOOR				
25	Internal_Door: 820	2040	820	BED 2
30	Internal_Double_Door: 2 x 620	2040	1240	KITCHEN
31	Internal_Door: 720	2040	720	FAMILY
33	Internal_Door: 820	2040	820	BED 1
34	Internal_Door: 820	2040	820	BATH
GARAGE FLOOR				
01	Garage_Door: 2400 x 4810_PLD	2400	4810	GARAGE
GROUND FLOOR				
02	Entry Door: 1200 *	2340	1200	ENTRY
03	Internal_Door: 920 *	2340	920	GARAGE
04	Cavity_Sliding_Door: 920 CSD *	2340	920	FOYER
05	Internal_Door: 920 *	2340	920	PDR
06	Internal_Door: 720 *	2340	720	FOYER
07	Internal_Double_Door: 2 x 720 *	2340	1440	FOYER
08	Internal_Door: 920 *	2340	920	L'DRY
09	Laundry_Door: 920 * LDR	2340	920	
10	External_Door: 920 *	2340	920	BATH
FIRST FLOOR				
11	Internal_Double_Door: 2 x 820	2040	1640	MASTER SUITE
12	Cavity_Sliding_Door: 720 CSD	2040	720	ENSUITE
13	Cavity_Sliding_Door: 720 CSD	2040	720	ENSUITE
14	Internal_Door: 820	2040	820	WIL
15	Internal_Door: 920	2040	920	BATHROOM
16	Internal_Door: 820	2040	820	BED 2
17	Internal_Door: 820	2040	820	BED 3
18	Internal_Door: 820	2040	820	BED 4
19	Mirror Sliding Doors 2 Panel: 2200 x 1270 MSD	2200	1270	BED 4
35	Internal_Door: 1200	2040	820	BED 5



Certificate No. 0012700140

Scan QR code or follow website link for rating details.

Assessor name

Ian Fry

Accreditation No.

DMN/12/1441

Property Address

91 Windsor Road,PADSTOW NSW,2211

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FOWLER

YOUR HOME. OUR PASSION.

DESIGN NAME: FACADE NAME:

BROOKLY 37 - ESPLANADE (NO

DISPLAY BALCONY)

PACKAGE: JOB NO:

PRESTIGE 25-1048

WINDOWS & DOORS SCHEDULES

SCALE: @ A3

DATE: SHEET NO:

03.07.26 015

CLIENT'S NAME:

MR. SON LE HOANG

MRS. YOUNG SOOK MOON

SIGNATURE: DATE:

I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

SITE ADDRESS:

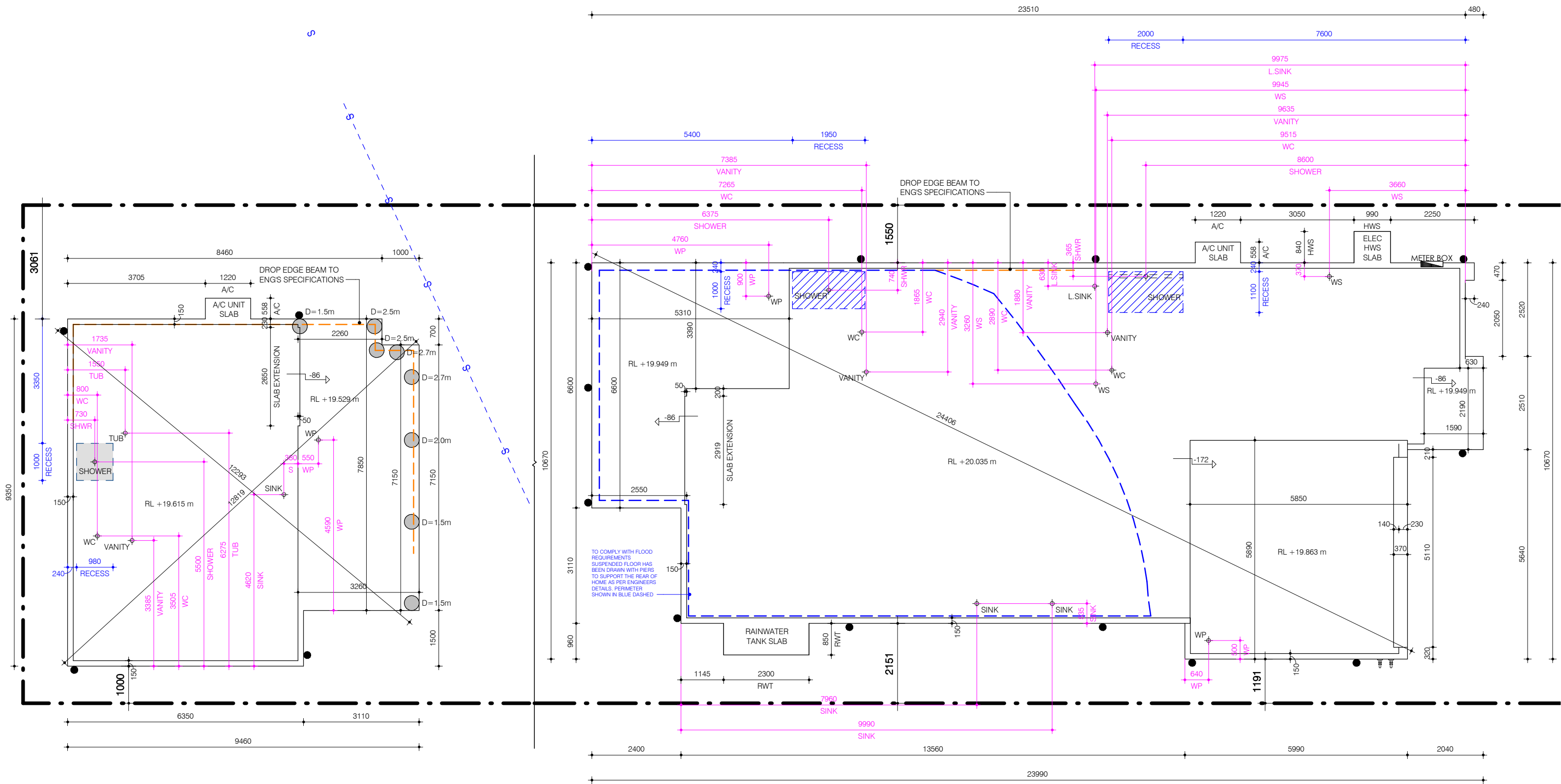
LOT: 18 DP: 19247

91 WINDSOR ROAD

PADSTOW NSW 2211

REVISION:

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'H1' SLAB CLASSIFICATION

NOTES:
-ALL REBATES TO BE 150mm WIDE U.N.O
-GARAGE REBATES TO BE 370mm
WIDE x 15mm RECESS. REFER TO
ENGINEER'S DETAILS.
-ALL DIMENSIONS ARE TAKEN FROM
EXTERNAL FACE OF BRICKWORK.
-REFER TO WET AREA DETAIL FLOOR
PLANS FOR SERVICE LOCATIONS.

**32 MPa CONCRETE T PIERS &
SLAB INCLUDING 0.3 HIGH
IMPACT RESISTANCE VAPOUR
BARRIER AS REQUIRED**

**Certificate No. 0012700140**

Scan QR code or follow website link for rating details.

Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 91 Windsor Road, PADSTOW NSW, 2211

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Version 2025.0



FOWLER

YOUR HOME. OUR PASSION.

DESIGN NAME:
BROOKLY 37 -
DISPLAY
PACKAGE:
PRESTIGE

FACADE NAME:
ESPLANADE (NO
BALCONY)
JOB NO:
25-1048

CONCRETE SLAB PLAN

SCALE: 1 : 100 @ A3

DATE: 03.07.26

SHEET NO: 016

CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON

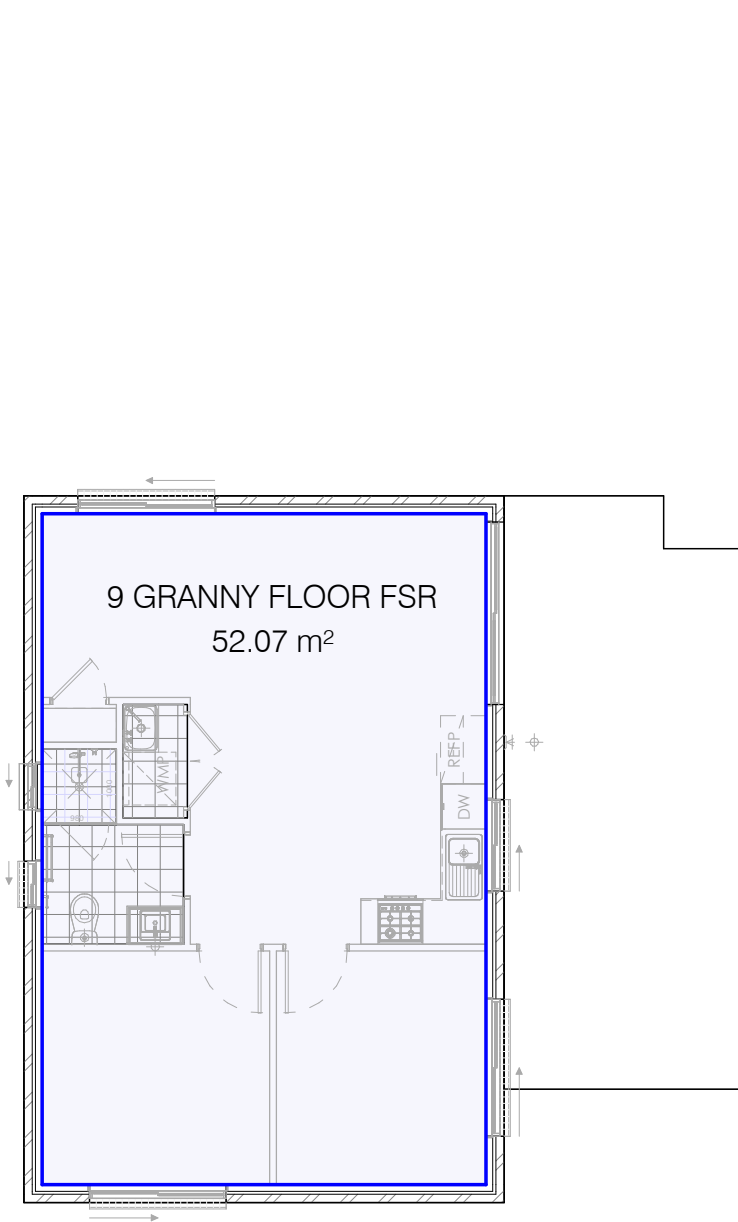
SIGNATURE: _____ DATE: _____

I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

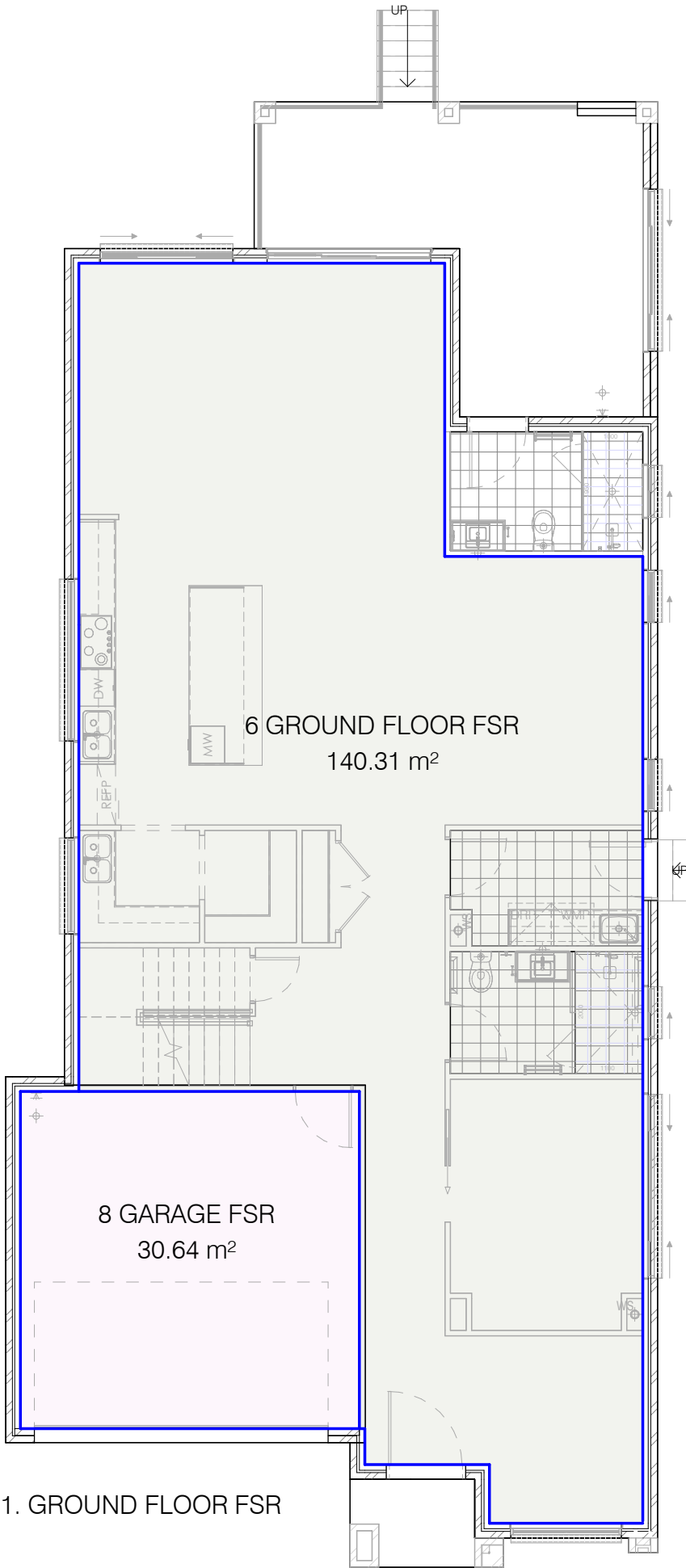
SITE ADDRESS:
LOT: 18
91 WINDSOR ROAD
PADSTOW
NSW 2211

DP: 19247

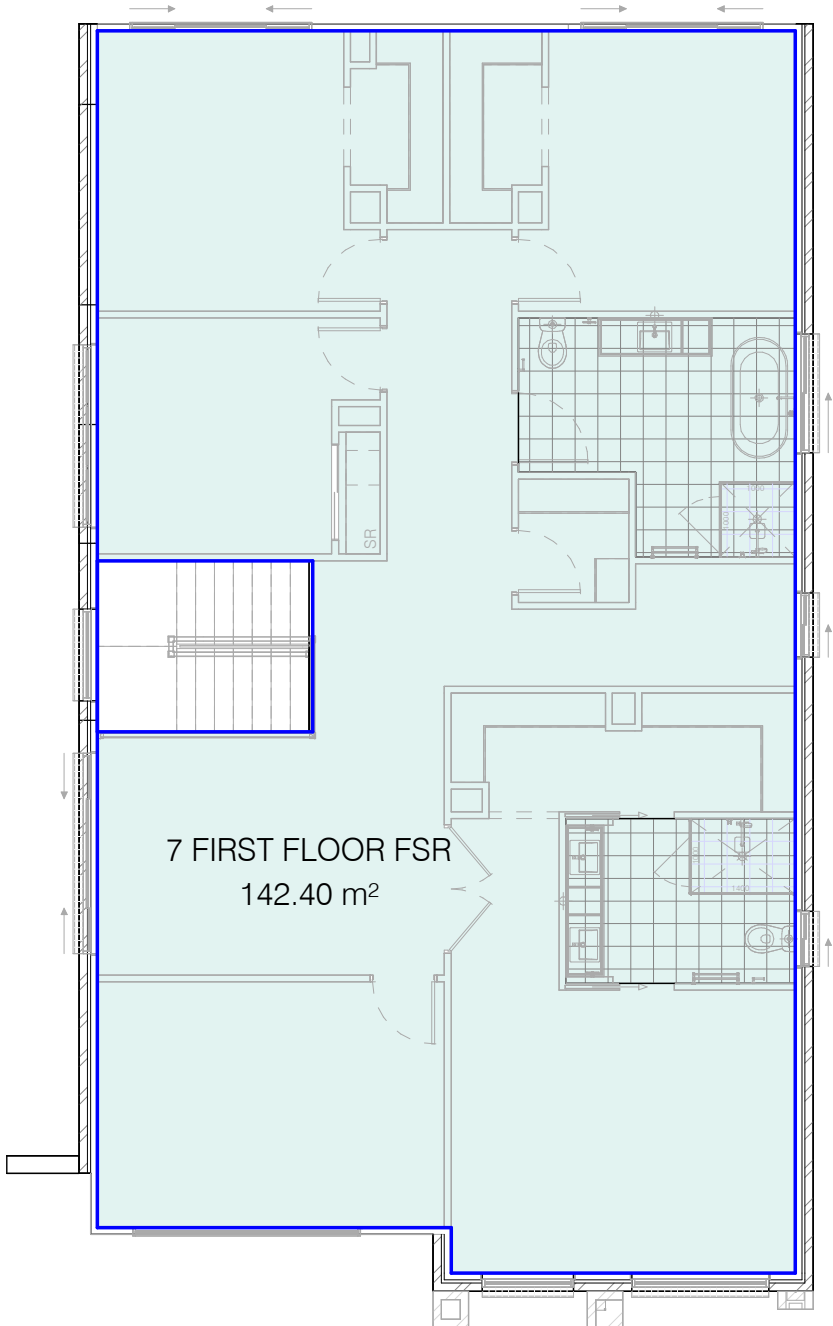
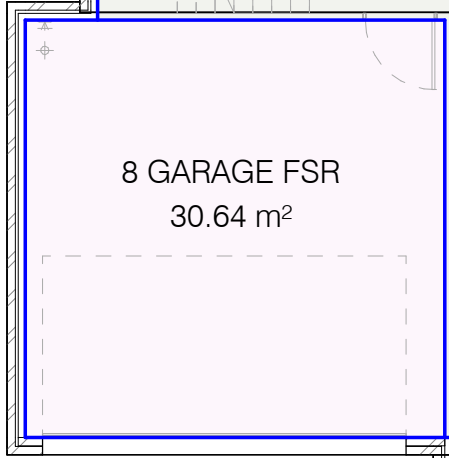
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3. GRANNY FLAT FLOOR FSR



1. GROUND FLOOR FSR



2. FIRST FLOOR FSR

**Certificate No. 0012700140**

Scan QR code or follow website link for rating details.

Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 91 Windsor Road, PADSTOW NSW, 2211

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FLOOR SPACE AREA	
NAME	AREA
GROUND FLOOR FSR	140.31 m²
GRANNY FLOOR FSR	52.07 m²
GARAGE FSR	30.64 m²
FIRST FLOOR FSR	142.40 m²
TOTAL	365.42 m²

COLOUR SCHEME	
	GROUND FLOOR FSR
	GARAGE FSR
	GRANNY FLOOR FSR
	FIRST FLOOR FSR



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DESIGN NAME:
BROOKLY 37 -
DISPLAY
PACKAGE:
PRESTIGE

FACADE NAME:
ESPLANADE (NO
BALCONY)
JOB NO:
25-1048

FLOOR SPACE RATIO PLAN

SCALE: 1 : 100 @ A3

DATE:
03.07.26

SHEET NO:
017

CLIENT'S NAME:
MR. SON LE HOANG
MRS. YOUNG SOOK MOON

SIGNATURE:
I ACCEPT AND APPROVE CURRENT PLANS AND ALL
DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.

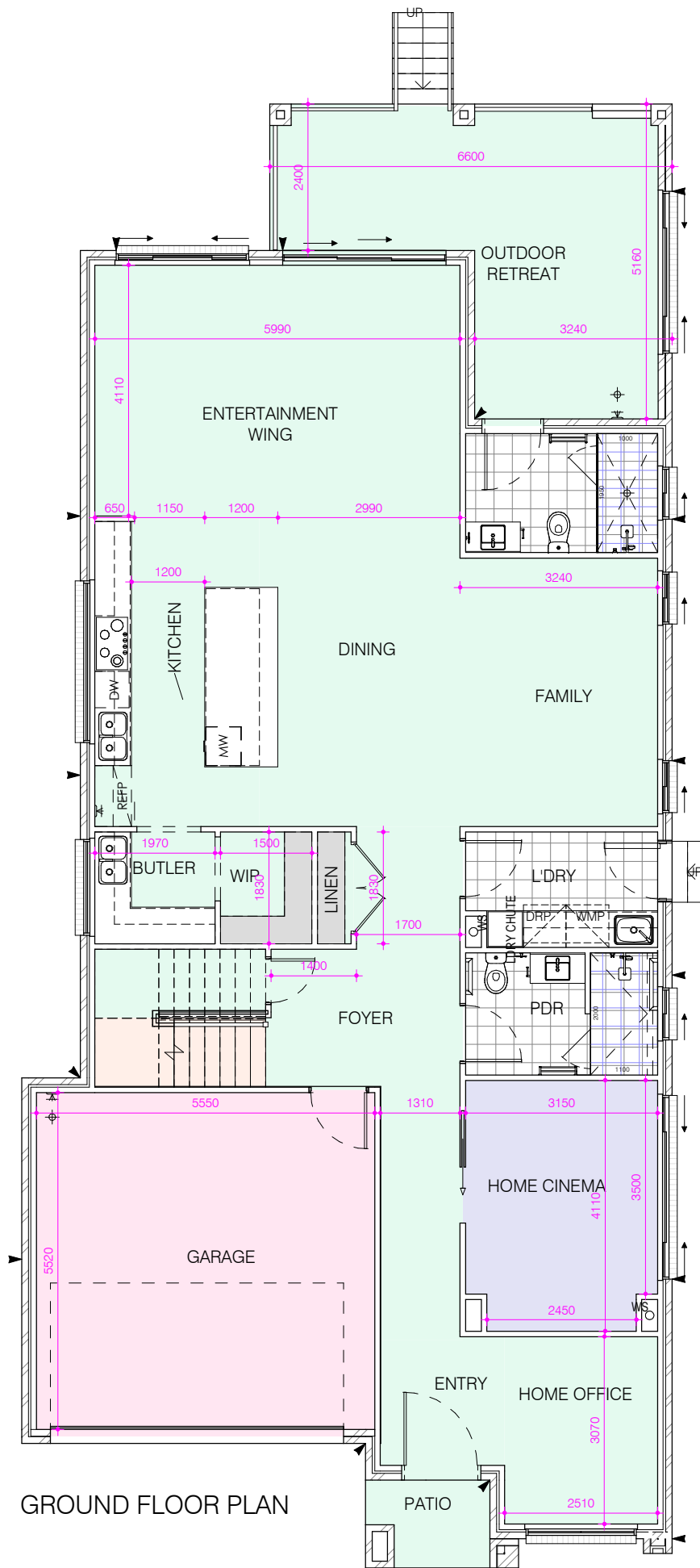
DATE:

SITE ADDRESS:
LOT: 18
91 WINDSOR ROAD
PADSTOW

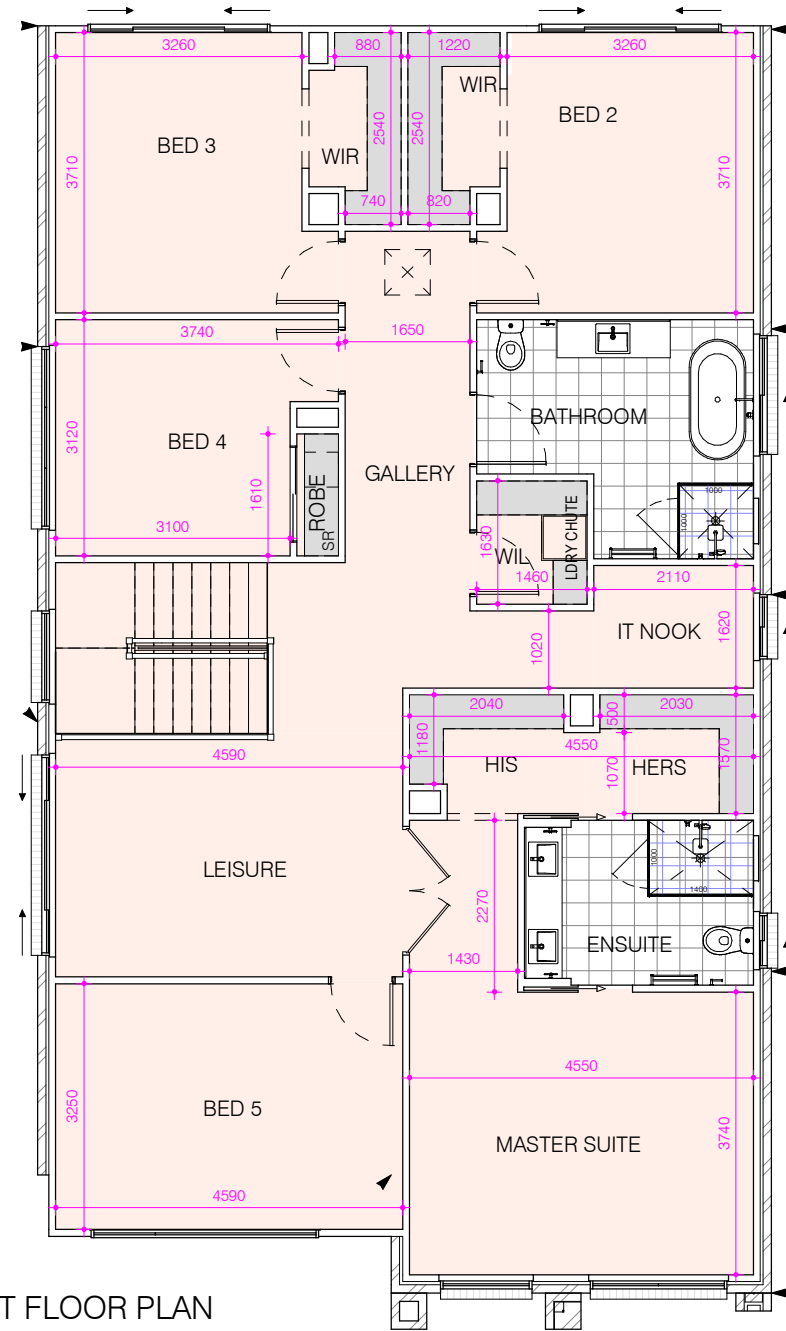
DP: 19247
NSW 2211

REVISION:

B-2



GROUND FLOOR PLAN



FIRST FLOOR PLAN

**Certificate No. 0012700140**
Scan QR code or follow website link for rating details.

Assessor name Ian Fry
Accreditation No. DMN/12/1441
Property Address 91 Windsor Road, PADSTOW NSW, 2211
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PROVIDE SAND & CEMENT
SCREEDED BED TO MAIN
FLOOR, OUTDOOR RETREAT &
PATIO FOR A 40mm FINISH

PROVIDE ALPHA FLOORING

FLOOR COVERINGS

-  CARPET
-  EPOXY
-  LAMINATE
-  TILES



FOWLER
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DESIGN NAME: BROOKLY 37 -
DISPLAY PACKAGE: PRESTIGE
FACADE NAME: ESPLANADE (NO
BALCONY) JOB NO: 25-1048

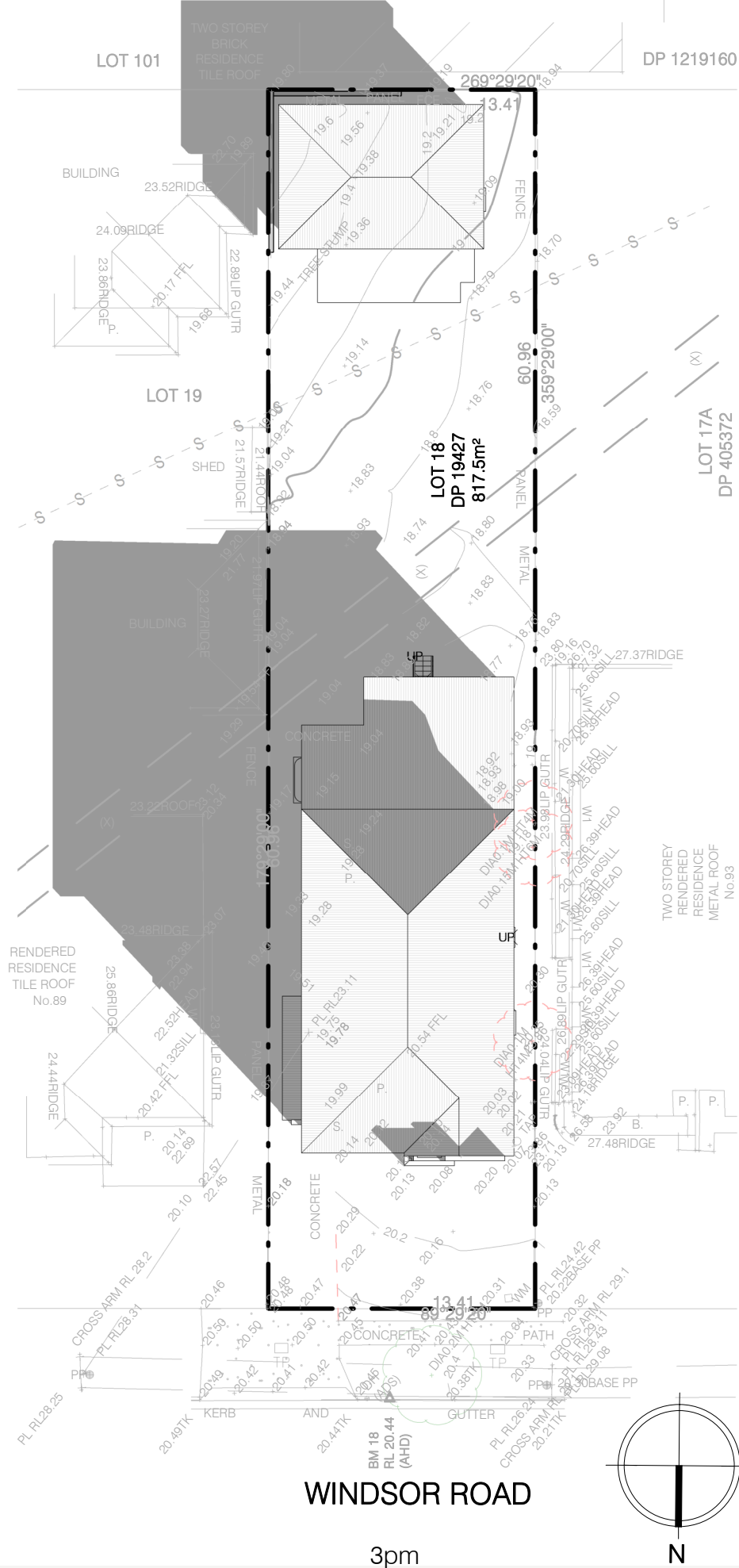
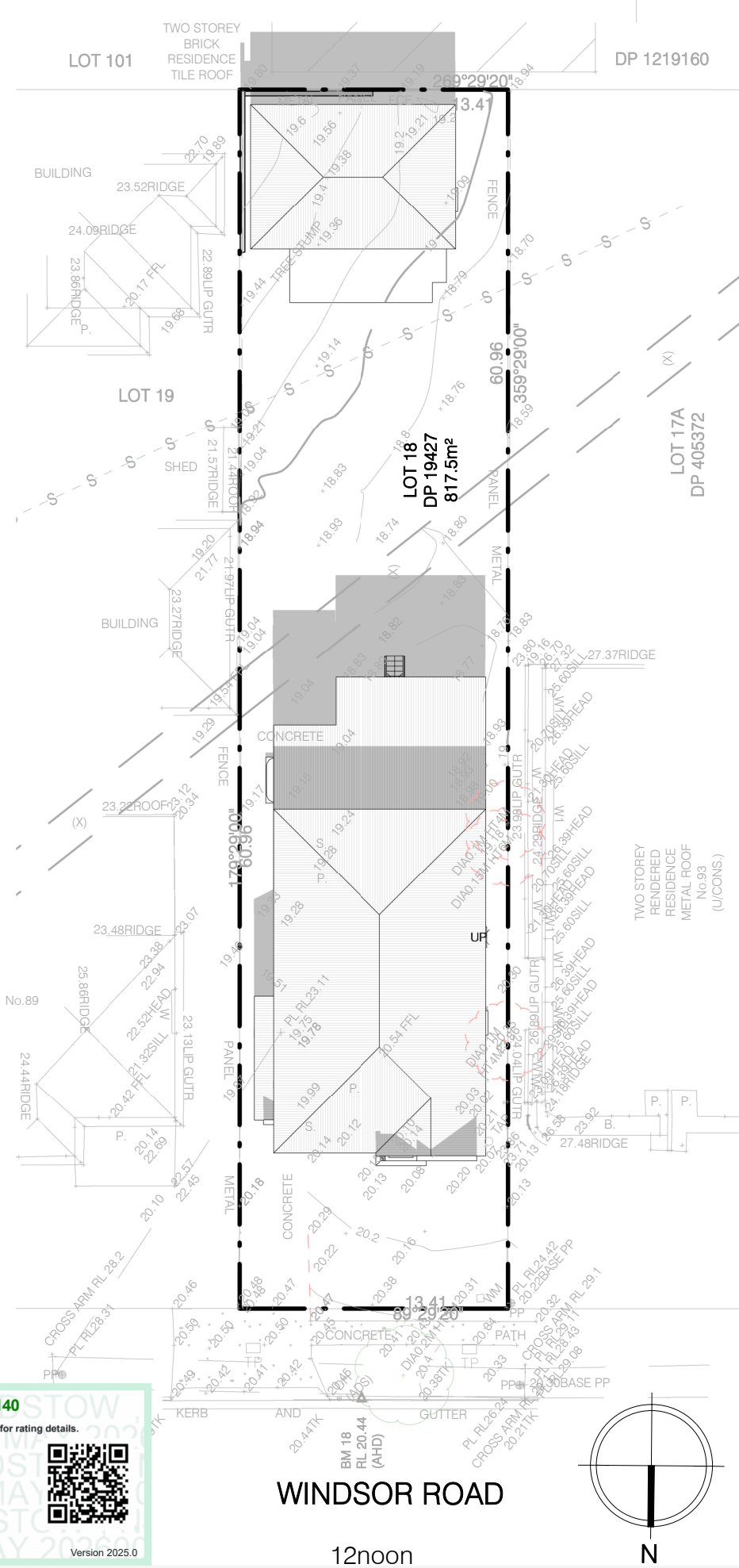
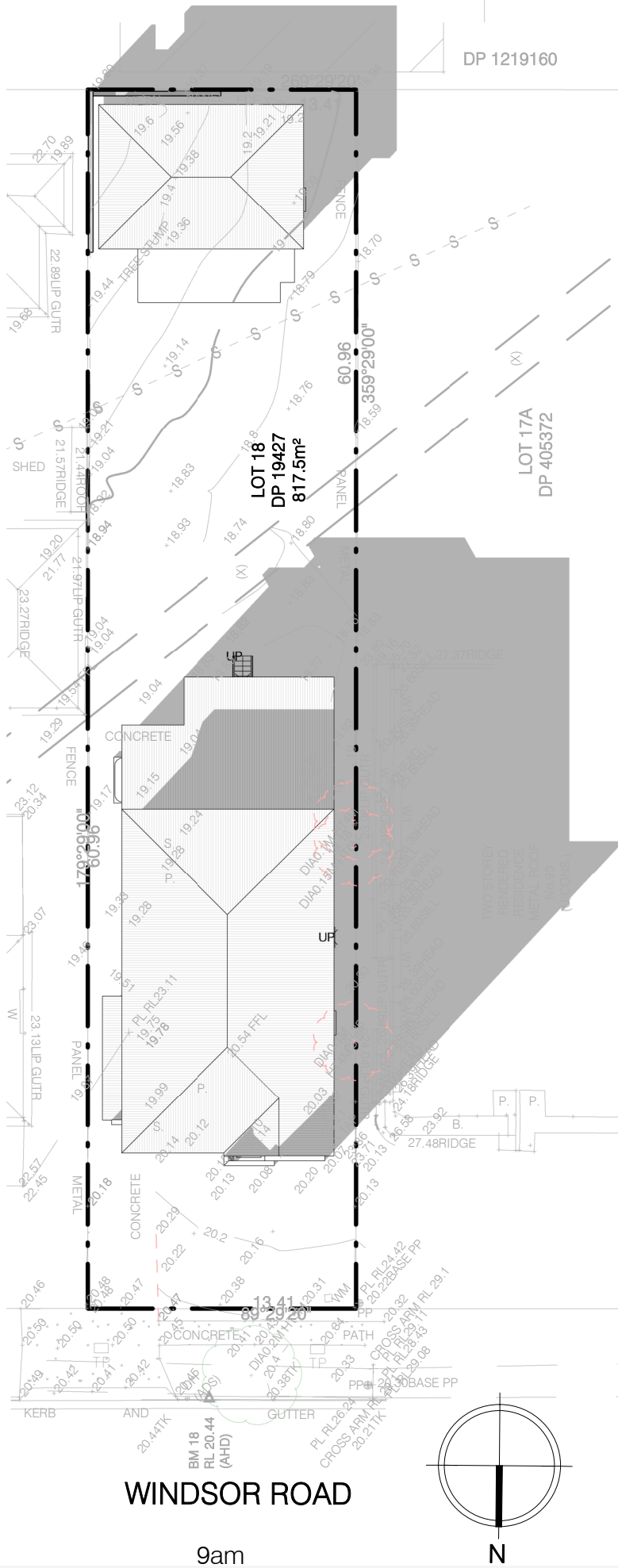
FLOOR COVERING PLAN
SCALE: 1 : 100 @ A3
DATE: 03.07.26 SHEET NO: 018

CLIENT'S NAME: MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: DATE:

SITE ADDRESS: LOT: 18
91 WINDSOR ROAD
PADSTOW NSW 2211

REVISION:

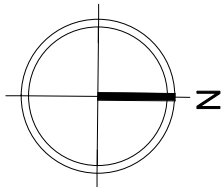
B-2



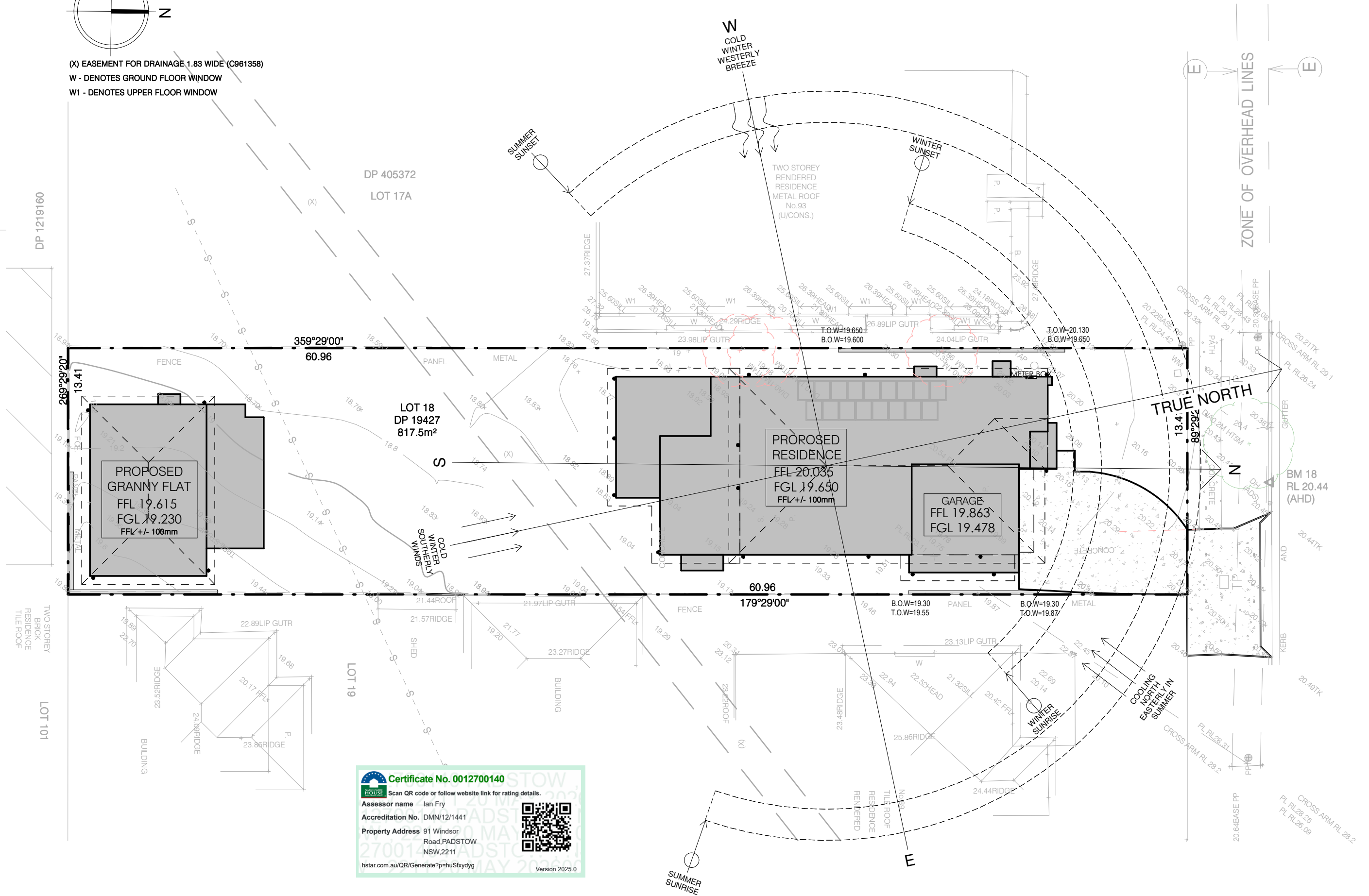
Certificate No. 0012700140
Scan QR code or follow website link for rating details.
Assessor name Ian Fry
Accreditation No. DMN/12/1441
Property Address 91 Windsor Road, PADSTOW NSW, 2211
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Version 2025.0



DESIGN NAME:	FACADE NAME:	SHADOW DIAGRAMS, 21st JUNE	CLIENT'S NAME:	SITE ADDRESS:	REVISION:
BROOKLY 37 - DISPLAY PACKAGE:	ESPLANADE (NO BALCONY) JOB NO:	SCALE: 1 : 300 @ A3	MR. SON LE HOANG	LOT: 18 DP: 19247	
PRESTIGE	25-1048	DATE: 03.07.26 SHEET NO: 019	MRS. YOUNG SOOK MOON	91 WINDSOR ROAD	
			SIGNATURE: DATE:	PADSTOW NSW 2211	
			I ACCEPT AND APPROVE CURRENT PLANS AND ALL DOCUMENTATION PROVIDED TO ME BY FOWLER HOMES.		



(X) EASEMENT FOR DRAINAGE 1.83 WIDE (C961358)
W - DENOTES GROUND FLOOR WINDOW
W1 - DENOTES UPPER FLOOR WINDOW



Certificate No. 0012700140
Scan QR code or follow website link for rating details.
Assessor name: Ian Fry
Accreditation No. DMN/12/1441
Property Address: 91 Windsor Road, PADSTOW NSW, 2211
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DESIGN NAME: BROOKLY 37 - DISPLAY PACKAGE: PRESTIGE
FACADE NAME: ESPLANADE (NO BALCONY) JOB NO: 25-1048

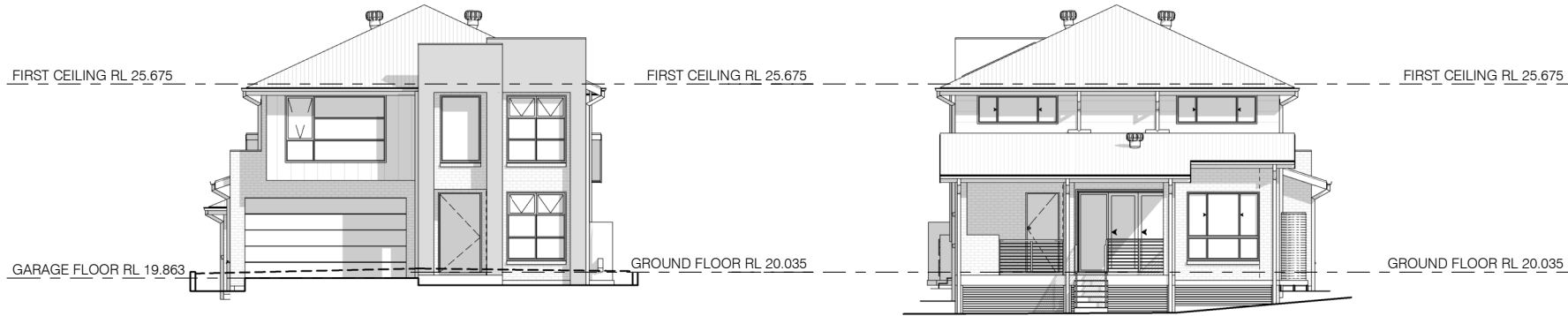
SITE ANALYSIS
SCALE: 1 : 200 @ A3
DATE: 03.07.26 SHEET NO: 020

CLIENT'S NAME: MR. SON LE HOANG
MRS. YOUNG SOOK MOON
SIGNATURE: DATE:

SITE ADDRESS: LOT: 18 DP: 19247
91 WINDSOR ROAD
PADSTOW NSW 2211

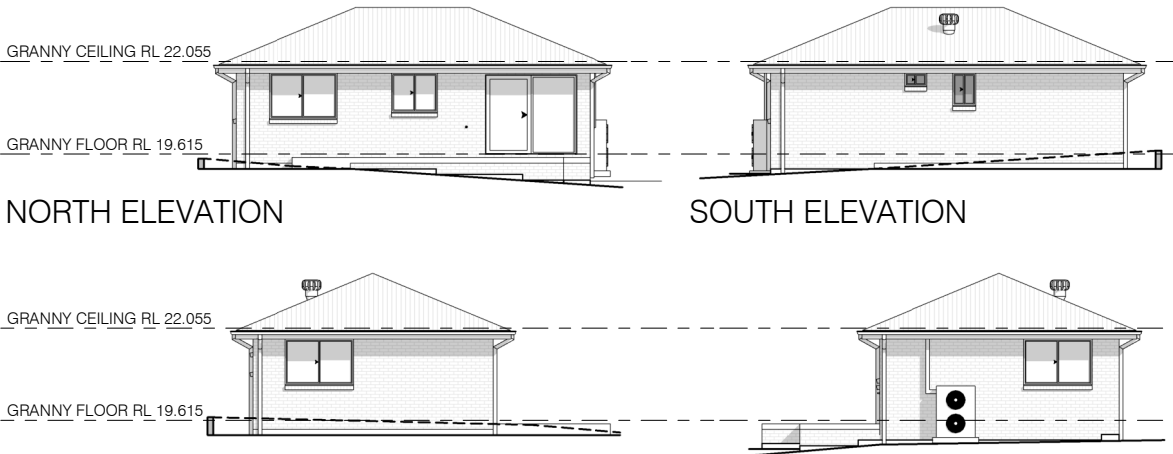
REVISION:

B-2



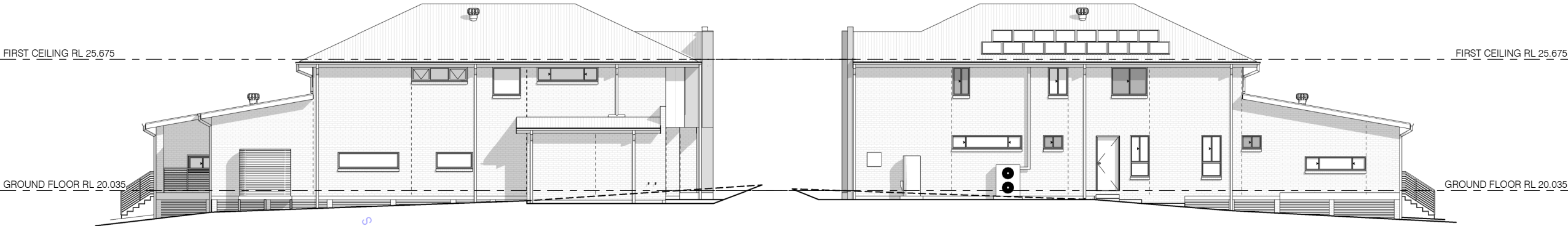
NORTH ELEVATION

SOUTH ELEVATION



EAST ELEVATION

WEST ELEVATION



EAST ELEVATION

WEST ELEVATION

Certificate No. 0012700140

Scan QR code or follow website link for rating details.

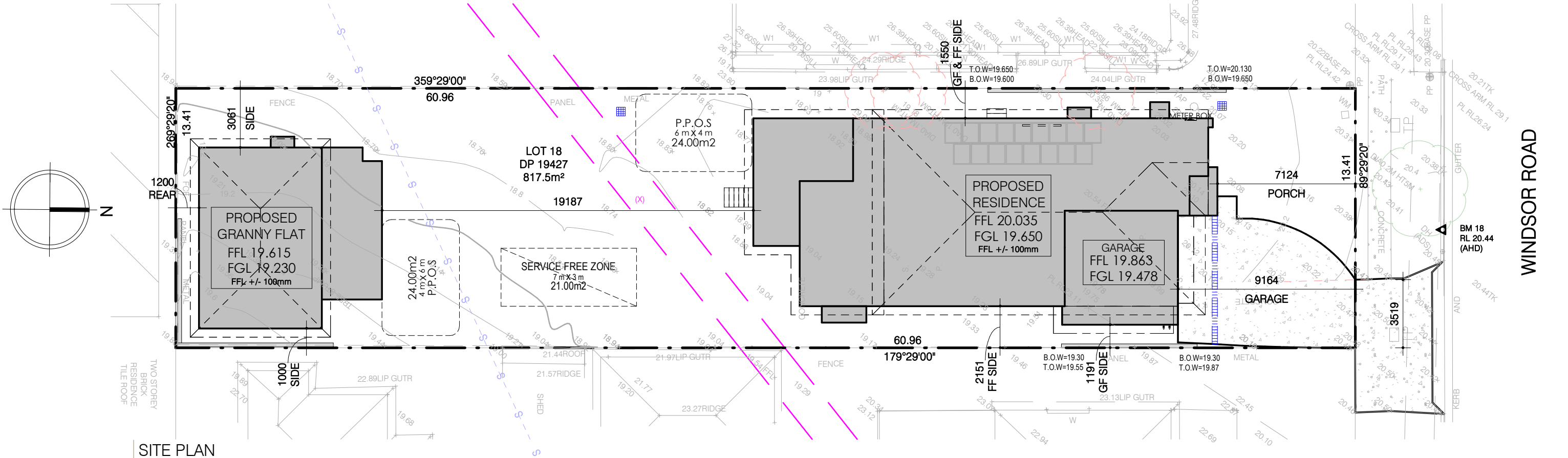
Assessor name: Ian Fry

Accreditation No. DMN/12/1441

Property Address: 91 Windsor Road, PADSTOW NSW 2211

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SITE PLAN

1 : 200